



## Agenda

### **Call to Order**

### **Agenda Adjustment**

### **Approval of Minutes**

1. September 9, 2025 Regular Meeting Minutes

### **Requests and Communications**

### **Consent Agenda**

### **Other Business**

2. Jim N' Nick's BBQ Development Plan 25-DP-08

### **Adjournment**

In accordance with ADA regulations please contact the Town Clerk's office at least 48 hours before the meeting to request an auxiliary aid or service needed to participate in this meeting:  
linda.mckinney@hollyspringsnc.gov 919-557-3900



## Development Review Committee Minutes: September 9, 2025

The Development Review Committee met virtually on Tuesday, September 9, 2025 beginning at 3:00 pm. All members available were in attendance.

Agenda Item 1: Approval of Minutes

Motion to approve minutes of:

1. May 5, 2025 Regular Meeting Minutes

as submitted.

Motion: Paul Liquorie  
Second: Randy Harrington  
Vote: Unanimous

Agenda Item 2: New Business

Planner Cheryl Caines began presenting to the Committee.

Jacobs Engineering Group, has submitted a request for a Development Plan for approval for 608,850 sq. ft. office, manufacturing, and warehouse campus within the Friendship Innovation Park Master Plan.

The Development Plan has been reviewed by staff (Development Services, Parks & Recreation, Utilities & Infrastructure, and Fire & Rescue) and has been found to be in compliance with applicable development standards of the Master Plan and UDO.

This project qualifies for administrative approval in accordance with the approved Economic Development Agreement (EDA).

1. The Development Plan is allowed DRC review through an Economic Development Agreement.
2. The Development Application does not include Special Use Permits.
3. The Development Application meets the applicable standards under the Holly Springs UDO.



## Development Review Committee Minutes: September 9, 2025

### *Motion/Action Requested*

*Motion that the DRC approve Development Plan 25-DP-07 for Genentech as submitted by Jacobs Engineering Group, dated 8/15/2025, with the conditions in Exhibit A.*

*Motion: Paul Liquorie  
Second: Randy Harrington  
Vote: Unanimous*

### *Agenda Item 3: Adjournment*

*The meeting adjourned at 3:54 PM*

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Mackenzie Fretz  
DRC Clerk



# Holly Springs Development Review Committee

## *Development Review Committee Agenda Cover Sheet*

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### Agenda Item#: 2.

#### **Development Services**

**Title:** Jim N' Nick's BBQ Development Plan 25-DP-08

**Strategic Priority Area:** Growth Management & Economic Vitality

**Staff Resource:** Grayson Taylor, Development Services

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#### **Action(s):**

- Approve Jim N' Nick's BBQ Development Plan with the Conditions listed in the Staff Report.

#### **Explanation:**

- Jim N' Nick's BBQ is a Development Plan for a 4,900sf restaurant with a drive-through.
- The site is addressed as 115 Grand Hill Place, and is one of the last vacant lots within Holly Springs Towne Center.

#### **Background:**

- The Development Plan meets all applicable requirements of the Unified Development Ordinance and Holly Springs Towne Center Phase 1 Master Plan.

#### **Funding Source(s):**

N/A

#### **Attachment(s):**

1. 25DP08\_JimNNicks\_DRCStaffReport
2. 25DP08\_JimNNicksBBQ\_Application
3. 25DP08\_JimNNicksBBQ\_Plans



**Project Type:** Development Plan

**Concurrent Applications:**

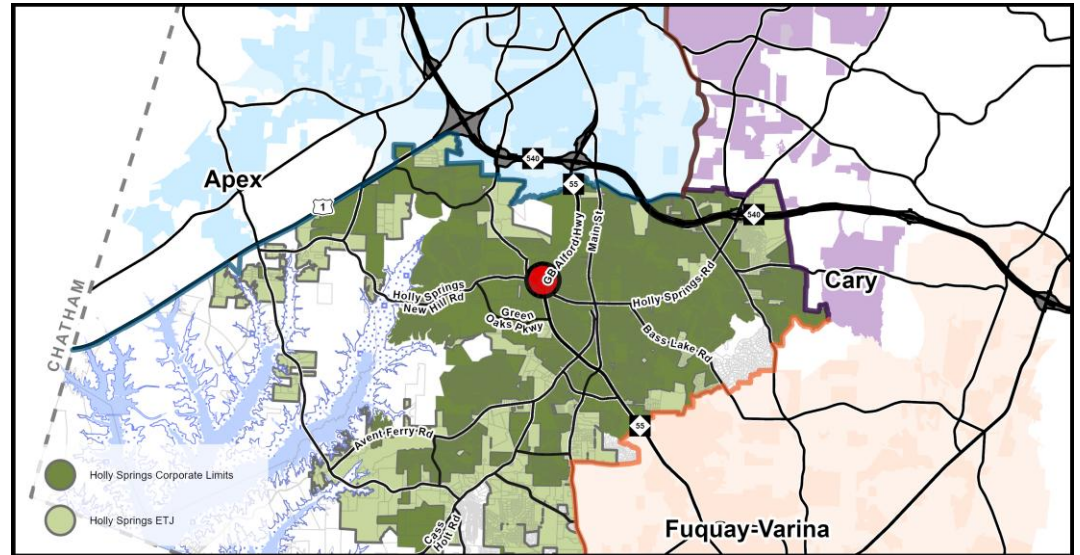
Waiver / SUP/ VAR/ CPA

**Applicant / Petitioner:**

Sandi LeBlanc, LD Reeves & Associates

**Property Address:** 115 Grand Hill Place

**Property Area:** 1.51ac.



Located in:  Holly Springs Corporate Limits  Holly Springs ETJ  Annexation Pending

**Project Summary:**

A Development Plan for a 4,900 square foot restaurant with drive-through within the Holly Springs Towne Center (HSTC) Phase 1.

**Requested Action:**

Administrative Decision: The Development Review Committee must review the application for consistency with the applicable UDO provisions and shall approve the Development Plan when the applicant has demonstrated full compliance with the UDO.

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**Case Summary**

**Current Zoning:**

- CB: Community Business
- Conditional Zoning District

**Current Major Subdivision Plan:**

Holly Springs Towne Center Phase 1



Aerial Photograph

**Growth Strategy Map:**

Places to Transform

**Small Area Plan Designation:**

N/A

**Future Land Use Plan Designation:**

Mixed-Use Center

**Staff Analysis:**

The Development Plan is:  Consistent with Adopted Plans/Ordinances  Inconsistent with Adopted Plans/Ordinances

The Development Plan complies with minimum requirements specified in Town adopted land development plans, policies, and ordinances.

**Staff Recommendation:**  Approve  Deny





### Development Standards Information

Unified Development Ordinance

The following is a summary of how the proposed development satisfies the applicable 2022 Holly Springs Unified Development Ordinance (UDO) and Holly Springs Towne Center Phase 1 Master Plan (08-DP-11).

#### Development Standards Summary

##### Development Standards (UDO Section 2 & Master Plan):

Building Placement	UDO Standard	Proposed Standard
Thoroughfare Setback (NC-55)	50'	50'
Front Setback (Grand Hill Pl.)	30'	30'
Side Setbacks	5'	5'

Building Height	UDO Standard	Proposed Standard
Minimum Building Height	25'	25'
Maximum Building Height	60'	25'
Minimum Ground Floor Story Height	14'	

##### Landscaping (UDO Section 5 & Master Plan):

	Standard	Proposed Standard
<b>Perimeter Buffers</b>		
Thoroughfare Buffer (East)	50' Type B – Semi-Opaque	50' Type B – Semi-Opaque
North	5' Type A - Open	5' Type A - Open
South	5' Type A - Open	5' Type A - Open
West	5' Type A - Open	5' Type A - Open

##### Parking (UDO Section 6):

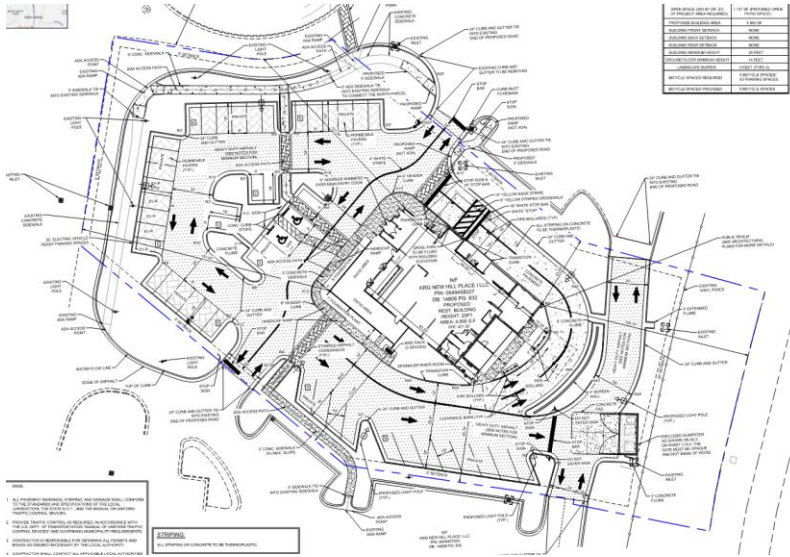
	UDO Standard	Proposed Standard
Vehicle Parking Locations	Unrestricted	Unrestricted
Minimum/Maximum Parking	19 min/31 max spaces	47 spaces*
Bike Parking	5 spaces	5 spaces
EV Parking	10% EVSE Ready: 5 spaces	5 spaces

\*50% increase permitted with Pervious Parking



### Development Standards Information (cont.)

#### Proposed Site Design (UDO Section 8 and Master Plan)



#### Site Design Highlights

- Drive-Thru Restaurant with Dining Room and Bar
- Dual Drive-Thru Lanes
- Building Faces Grand Hill Place
- Pedestrian connections to adjacent buildings/sidewalks in HSTC

#### Building Elevations (UDO Section 8 and Master Plan)



- Brick and dark EIFS façade
- Lamboo trim (laminated bamboo)
- Smoke tower
- Consistent with HSTC Materials

## Development Standards Information (cont.)

### Streets, Utilities, & Other Infrastructure (UDO Section 7 and Holly Springs Towne Center)

#### Transportation

The proposed Jim N' Nick's outparcel has no direct frontage along a public street requiring additional right-of-way dedication or widening. The site is located within the larger Holly Springs Towne Center (HSTC) development, and all major frontage improvements along Holly Springs Road and associated roadways were constructed with the respective phases of the overall HSTC project.

A Site-Specific Traffic Analysis (SSTA) ("Tier 2" traffic study per the adopted Traffic Study Policy) has been completed with the Development Plan. Based on the SSTA and the Town's Traffic Study Policy, no intersection improvements are warranted with this project. The original Holly Springs Towne Center TIA identified a future improvement to the intersection of Grand Hill Place and New Hill Road. This is also the location of a Comprehensive Transportation Plan Hot Spot Study. This improvement of restricting the intersection to be right-in-right-out-left-in will be implemented with the development of the second-to-last parcel in the Holly Springs Towne Center (there are two remaining parcels off Bennet Knoll Parkway) per the agreement between the Town and the development owner.

#### Utilities

The applicant proposes to serve the site with water, sewer, and reclaimed water. All these utilities exist and are available for service taps and extensions into the site. The project has completed a Fire Flow Analysis and confirmed there is adequate pressure within the Town's system to support this project. A Sewer Verification Memo was also completed to confirm this project falls within the original allocation for the Holly Springs Towne Center Phase 1 sewer extension permit. Therefore, this project is not subject to the Town's Water Resource Management Policy.

## Development Standards Staff Analysis

The Development Plan is:  Consistent  Inconsistent with the Unified Development Ordinance

The Development Plan has been reviewed by staff (Land Development, Parks & Recreation, Utilities & Infrastructure, and Fire & Rescue) and has been found to be in compliance with applicable development standards of the Master Plan and UDO.

## Decision-Making Information

### Unified Development Ordinance Consistency Summary Table

Unified Development Ordinance	
Conditional Zoning District Standards/Ordinances	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent

### Development Plan Staff Analysis

The applicant must demonstrate that the proposed Development Plan complies with minimum requirements specified in Town's adopted land development policies and ordinances.

The Development Plan complies with minimum requirements specified in Town adopted land development policies and ordinances.

**Staff Recommendation:**  Approve  Deny

### Previous Case Related Items

#### Neighborhood Meeting

The applicant must hold a neighborhood meeting with all property owners within 500 feet of the project prior to submitting an application. A report of the neighborhood meeting has been submitted and is included in the agenda item attachments.

Meeting Date: 8/5/2025

Summary of Issues: No attendees present

### Development Review Committee Consideration & Action

This project qualifies for administrative approval in accordance with the adopted standards in the Unified Development Ordinance (UDO). The UDO allows administrative approval for all Development Plans not involving properties in the DMX Downtown Mixed-Use (DMX) zoning district, buildings over 40,000 sf., or Special Use Permits.

1. The proposed use in the Development Application is for a drive-through restaurant.
2. The Development Application does not include Special Use Permits.
3. The Development Application meets the applicable standards under the Holly Springs UDO.



*Administrative Decision*

The Development Review Committee must review the application for consistency with the applicable UDO provisions and shall approve the Development Plan when the applicant has demonstrated full compliance with the UDO.

**Potential Development Plan Motion**

**Motion to** approve Development Plan 25-DP-08 for Jim N' Nick's BBQ, as submitted by Sandi LeBlanc, dated 11/12/25, with the following conditions:

1. All previous conditions of approval for Development Plan apply to this plan except for any condition that describes a fee or a fee-in-lieu to be paid shall now comply with the current amounts due pursuant to the Town's current annual budget or any unexpired development agreement.
2. Invoiced fees from Special Study third party review must be paid prior to first Construction Drawing Submittal, and no later than prior to Construction Drawing Approval.
3. ALL recommendations from the Traffic Study and as a result of Town and NCDOT review associated with this project, must be incorporated into the plans with the first Construction Drawing submittal.
4. The Build-out analysis in the Traffic Impact Analysis (TIA) associated with this development included a mix of background improvements and recommended development mitigations. If the assumed background projects do not occur, it should be the developer's sole responsibility to construct all of the background improvements included in the Traffic Study unless additional analysis can be provided to demonstrate the background mitigations are not warranted by the subject development.
5. Offsite right-of-way dedication will be required in the form of a recorded plat prior to receiving construction drawing approval.
6. A Deed of Easement is required to be executed for public vehicular & public pedestrian access between the property owners at the time of plat.
7. All Special Studies must be finalized prior to being scheduled for DRC.
8. All items listed on the Stormwater Submittal Checklist, Form #16003, must be included with the first construction drawing submittal.
9. Provide documentation from Kite Realty Group for permission to work within the private right-of-way of Grand Hill Pl and of any required offsite utility easements with first construction drawing submittal.
10. Continue to work with Town Staff on the potable water line configuration and layout during the Construction Drawing review process.
11. Provide easement on the irrigation service line during Construction Drawing review.
12. Further coordination with the Town regarding site lighting and street tree arrangement will occur at the first Construction Drawing submittal.



# DEVELOPMENT PLAN PETITION

Major Subdivision, Development Plan  
 DPM Appendix #A.04 Supplement 20 October 2023


<b>PETITION CONTACT INFORMATION</b> <i>(Attach additional sheets if needed)</i>	
Applicant and Financially Responsible Party will need to register for an account on the <a href="#">Portal</a> .	
<b>Project Applicant</b> Check One: <input type="checkbox"/> Owner <input type="checkbox"/> Owner's Agent <input type="checkbox"/> Design Professional <input type="checkbox"/> Developer <input type="checkbox"/> Other	
Name:	Company:
Mailing Address:	
City, State, Zip:	
Telephone:	E-Mail:
<b>Design Professional</b>	
Name:	Company:
Mailing Address:	
City, State, Zip:	
Telephone:	E-Mail:
<b>Developer</b>	
Name:	Company:
Mailing Address:	
City, State, Zip:	
Telephone:	E-Mail:
<b>Architect</b>	
Name:	Company:
Mailing Address:	
City, State, Zip:	
Telephone:	E-Mail:
<b>Landscape Architect</b>	
Name: <a href="#">Aaron Neitzke</a>	Company: <a href="#">MLD Studio Landscape Architecture</a>
Mailing Address: <a href="#">51 Old Canton Street</a>	
City, State, Zip: <a href="#">Alpharetta, GA 30009</a>	
Telephone: <a href="#">770.442.8171</a>	E-Mail: <a href="mailto:aneitzke@mldstudio.com">aneitzke@mldstudio.com</a>
<b>Financially Responsible Party (REQUIRED)</b>	
Name:	Company:
Mailing Address:	
City, State, Zip:	
Telephone:	E-Mail:
<b>Property Owner (REQUIRED)</b>	
Name:	Company:
Mailing Address:	
City, State, Zip:	
Telephone:	E-Mail:



# DEVELOPMENT PLAN PETITION

Major Subdivision, Development Plan  
 DPM Appendix #A.04 Supplement 20 October 2023

PROJECT INFORMATION	
Project Name	
PUD/Master Plan or Subdivision	
Shopping Center or Lot #	
Project Location <i>Use street address. If none, use closest intersection</i>	<input type="checkbox"/> Within Corporate Limits <input type="checkbox"/> Within Holly Springs ETJ <input type="checkbox"/> Pending Annexation
PIN(s)	
Real Estate ID	
Project Acreage	Partial Parcel?    Yes    No
Current Zoning	
Proposed Use	
Open Space	Dedication    Fee-in-lieu    Combination    N/A
Waivers Requested	<input checked="" type="checkbox"/> No    Yes: Specify UDO Section Number(s):
Special Study Scoping Meeting Dates	
Sketch Plan Review (pre-submittal) Meeting Date:	
Water Resource Management Program (WRMP)	WRMP Priority Level    1    2    3 Allocation Request Required

CERTIFICATE OF COMPLETION	
I certify that all information presented in this petition is accurate to the best of my knowledge and belief.	
Signature of Applicant: 	Date:

## DEVELOPMENT PLAN & MAJOR SUBDIVISION FINDINGS OF FACT

A petition for Development Plan or Major Subdivision may only be approved upon the presentation of the following:

1. The land uses and development intensity of the proposed project will not have significant adverse impacts on adjacent properties and are consistent with the character of the Zoning District and the land uses authorized therein.

The proposed Jim 'N Nick's Community BBQ is very proud of the word COMMUNITY in our name. We love serving great Bar-B-Q, but we're just as enthusiastic about supporting our local communities. Our business has grown over the years, but our philosophy remains the same — give back to those who need it the most. Jim 'N Nick's BBQ is confident we are compatible with the neighborhood and overall objective of the comprehensive plan.

2. The proposed project provides for the preservation, improvement, and/or enhancement of open spaces and provides sufficient land dedicated for public park space or an equivalent fee-in-lieu:

The proposed Jim N Nick's BBQ will meet the surrounding development areas.

3. The proposed layout of streets, lots, utilities, water metering, and public improvements, and their relation to the topography of the land, reflect a design which can be economically served by the Town with public services and facilitates the use and future development of adjacent properties:

The proposed Jim 'N Nick's site is adequate to handle the proposed development of the 4,800 SF restaurant, parking, and double drive-thru lanes. All required open spaces, landscaping, utilities, and parking within the CB zoning district requirements will be represented per the code.

4. The proposed building or site design enhances the public realm, maximize natural surveillance and visibility, facilitates pedestrian access and circulation, and reinforces the Town's character:

The proposed restaurant use is compatible with the surrounding mixed-use restaurant, retail, and office uses. The size, scale, and massing of the proposed building are in appropriate relation to the adjacent/nearby lots and buildings at 4,800SF.

The proposed restaurant will not cause any adverse impacts upon any adjoining land uses and will likely bring additional patrons to their location.

5. The design of the project furthers the goals and policies of the Comprehensive Plan:

The proposed restaurant use is consistent with the comprehensive plans and the proposed development of the area.



In compliance with State and Federal Laws the Town of Holly Springs has developed a Fats, Oils, and Grease (FOG) Management Program. The purpose of this program is to educate the public and business owners of the problems associated with grease and grease accumulations. FOG in wastewater can result in decreased capacity of sewer lines by cooling and congealing on the insides of pipes. This occurrence eventually causes blockages and sewer overflows and, therefore, is a major concern for the Town’s wastewater collection system. Significant sources of FOG are cooking establishments due to the amount of grease used in cooking and other food preparation work. Improper disposal and cleanup practices allow FOG to enter the wastewater collection system. In an effort to work together to achieve the common goal of protecting the Town’s resources we are asking business owners that produce grease as part of their daily operations to take a few moments and complete the following survey.

***Return this form with your Development Petition to Development Services. For questions about permit submittals or requirements contact Development Services at 919-557-3908.***

COMPANY INFORMATION	
Name of Business: Jim N Nicks Community BBQ	
Address: 115 Grand Hill Place Holly Springs NC	
Phone: 214.478.0370	E-mail: Perry.jones@jimnicks.com
Company Representative: Perry Jones	
Title: Vice President Real Estate & Development	
Please provide a brief description of business operations: Authentic bar-bq restaurant with chefs and pitmasters serving food and drinks.	
FOG INFORMATION	
How many and what size grease handling device (grease trap or interceptor) do you have? (Please list dimensions) One 1500 gallon grease trap.	
Location of grease handling device(s): In the driveway next to the drive-thru area.	
Cleanout service provider:	
Does your grease handling device have a sampling chamber? (A sampling chamber is required for grease traps) Yes.	
How is the waste disposed of and where? Via contract service provider.	

Thank you for taking the time to complete this survey.

If you have any questions or concerns of your responsibilities in maintaining your grease trap or interceptor in accordance with the Town’s Sewer Use Ordinance, please contact Karen Foster at (919)577-2907 or email karen.foster@hollyspringsnc.gov



**Commercial and Industrial Wastewater Survey (IWS)  
Short Form**

This form has been sent to your business to determine types and sources of wastewater that are entering the Town of Holly Springs' Wastewater Treatment Facility. This form must be completed in accordance with the Town's Sewer Use Ordinance. The Sewer Use Ordinance can be examined on the Town's website at [www.hollyspringsnc.gov](http://www.hollyspringsnc.gov)

***Return this form with your Development Petition to Development Services. For questions about permit submittals or requirements contact Development Services at 919-557-3908.***

**If tenants and/or users in the facility are currently unknown please check here.**

**(By checking this box and signing below you are acknowledging that once tenants are known it is your responsibility to submit an IWS for each user to the Town.)**

FACILITY INFORMATION	
Name: JIm N Nick's Community BBQ	
Address: 115 Grand Hill Place	
Phone: 214.478.0370	E-mail: perry.jones@jimnicks.com
Type of Industry, Manufacture, Trade or Business: Restaurant	
Products Produced:	
Number of Employees: 16	
General Description of the Industrial Activities and/or Plant Processes at this Site: N/A	
Current Federal Standard Industrial Classification Code (S.I.C) if applicable: 5812	
Does the facility discharge any water from parts washing operations, contact cooling, oil/water separators or any other type of wastewater other than from restrooms including swimming pools? If so, describe:  N/A	

“Industrial Waste” means liquid or other wastes resulting from any processes of industry, manufacturing, trade, or business, or from the development of any natural resources. “Other Waste” means decayed wood, sawdust, shavings, bark, limes, garbage, refuse, ashes, offal’s, tar, oil, chemicals, and all other substances, except industrial waste and sewage, which may cause pollution in any waters.

1. Does this facility discharge industrial waste or other waste to the sanitary sewer?	YES NO <input checked="" type="checkbox"/> NO
--	--



**Commercial and Industrial Wastewater Survey (IWS)  
Short Form**

2. Is the discharge from industrial waste or other waste continuous or batch?	N/A
3. Does this facility use any type of chemical mixed with water that is discharged to the sanitary sewer?	YES <input checked="" type="checkbox"/> NO
If yes, please list:	
4. What is the total discharge to the sanitary sewer (gallons per day)?	6,720 GPD
5. What is the total industrial or other waste discharge to the sanitary sewer (gallons per day)?	N/A
6. Are any chemicals stored in quantities of 55 gallons or more?	YES <input checked="" type="checkbox"/> NO
7. Does this facility use any well water or other water source other than the public water supply?	YES <input checked="" type="checkbox"/> NO
8. Are any outside drains connected to the sanitary sewer?	YES <input checked="" type="checkbox"/> NO
9. Does your facility discharge stormwater to the sanitary water?	YES <input checked="" type="checkbox"/> NO

Our Sewer Use Ordinance requires that an Authorized Representative of the User sign all reports to the Town. Authorized Representative is defined as "a person responsible for the Principle Business decisions or other policy decisions for the facility."

To the best of my knowledge the information on this form is true and accurate.

Signature Augustine Appiah Date 07.02.25

Print name AUGUSTINE APPIAH Job Title Civil Engineer

For more information or any questions, please contact Karen Foster at 919-557-2907 or email [karen.foster@hollyspringsnc.gov](mailto:karen.foster@hollyspringsnc.gov)



# DEVELOPMENT PLAN PETITION

Major Subdivision, Development Plan  
 DPM Appendix #A.04 Supplement 20 October 2023

## NEIGHBORHOOD MEETING REPORT

A Neighborhood Meeting is required to occur prior to your submittal. The requirements for this meeting can be found in section 11.5 of the [Unified Development Ordinance \(UDO\)](#). The Neighborhood Meeting shall take place no more than 12 weeks prior to the application date and can be held virtually. A copy of the Neighborhood Meeting Notice must be sent to [DSIntake@hollyspringsnc.gov](mailto:DSIntake@hollyspringsnc.gov) prior to mailing for review and approval along with a copy of the mailing list.

NEIGHBORHOOD MEETING INFORMATION	
Meeting Date:	August 5, 2025
Meeting Time:	4:00 p.m.
Meeting Location:	1050 S Main St., Holly Springs, NC 27540
<b>CONDUCT OF MEETINGS</b> <i>(Attach additional sheets if needed)</i>	
At the Neighborhood Meeting, the Petitioner shall explain the proposal and petition, answer any questions, respond to concerns neighbors have about the petition and proposed resolutions to these concerns. Town Staff will not attend the Neighborhood Meeting.	
<b>Summary of Issues:</b>	
No issues noted.	
<b>Changes made to the Petition as a result of the meeting:</b>	
None.	
<b>Preparer's Signature:</b>	<i>Dom DeVuyst</i>
<b>Date:</b>	8/5/2025

# JNN HOLLY SPRINGS, NC

## 115 GRAND HILLS PLACE, HOLLY SPRINGS, WAKE COUNTY, NORTH CAROLINA, 27540

### PARCEL 0649458227 - ZONED CB

### OWNER / DEVELOPER

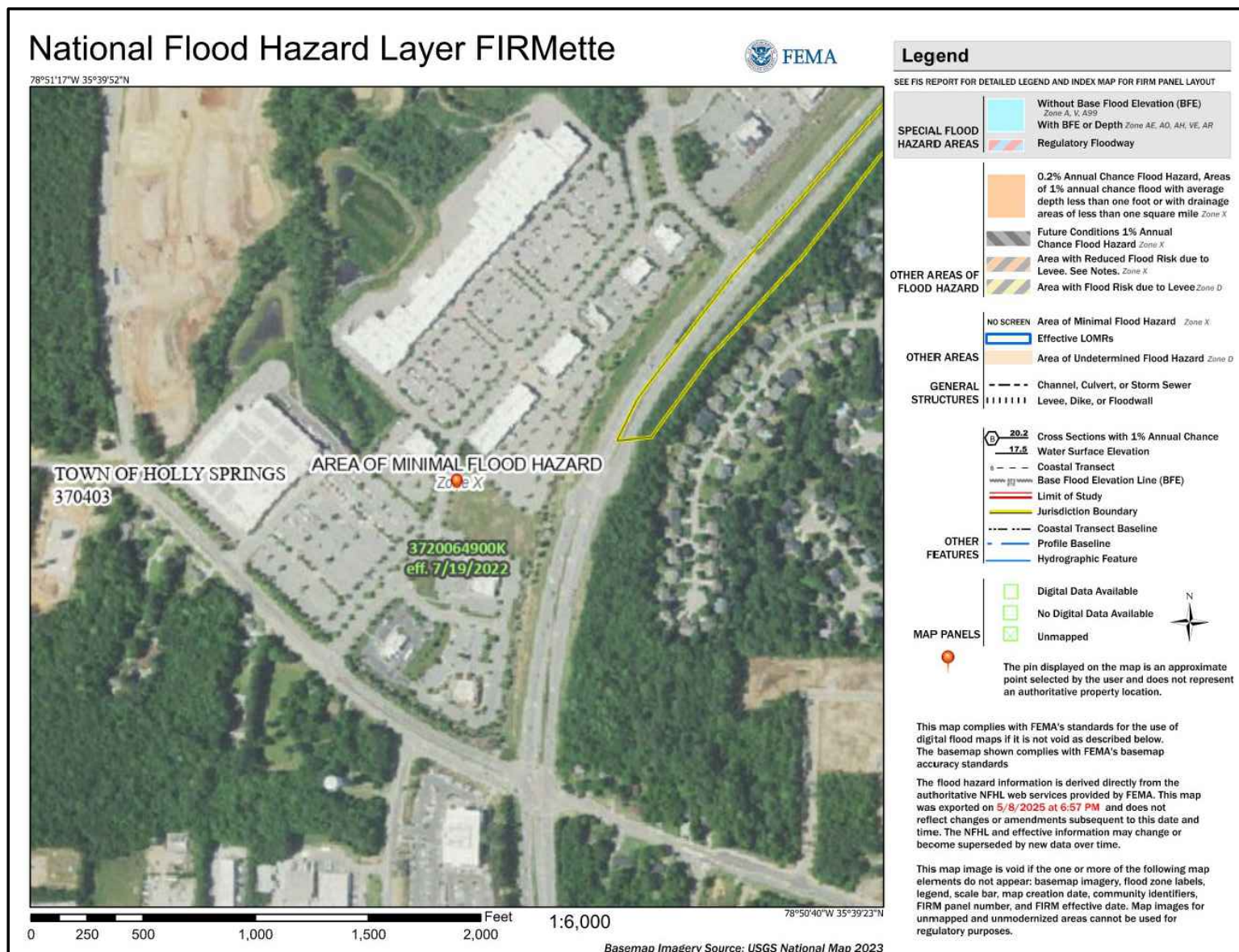
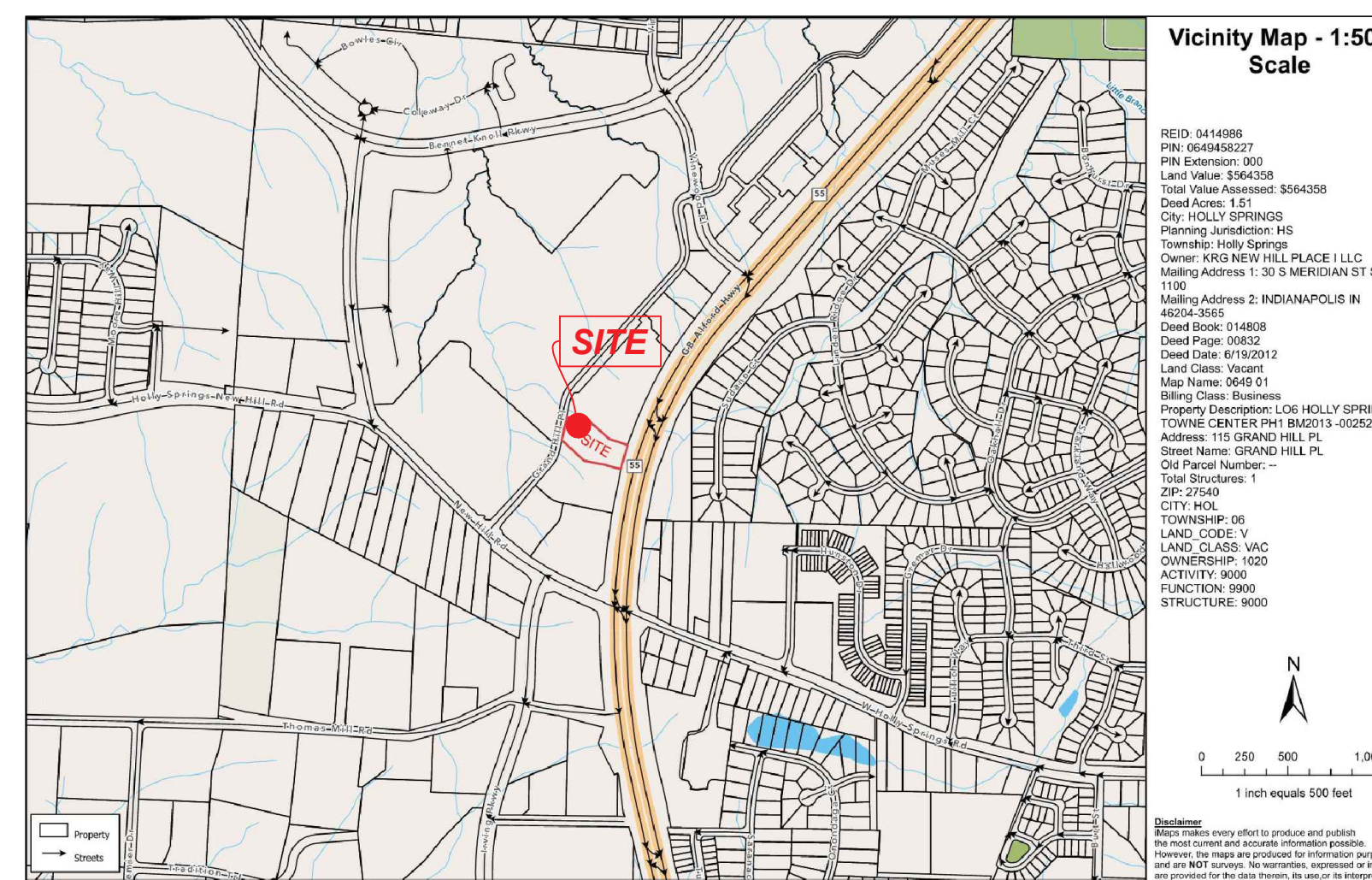
### JIM 'N NICK'S COMMUNITY BAR-B-Q

JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508,  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451

### ENGINEERS



**HAINES GIPSON & ASSOCIATES**  
Civil ▪ Structural ▪ Bridge  
1550 North Brown Road, Suite 145  
Lawrenceville, GA 30043  
Phone: 770-491-7550 ▪ Fax: 770-491-7550  
CONTACT: Augustine Appiah



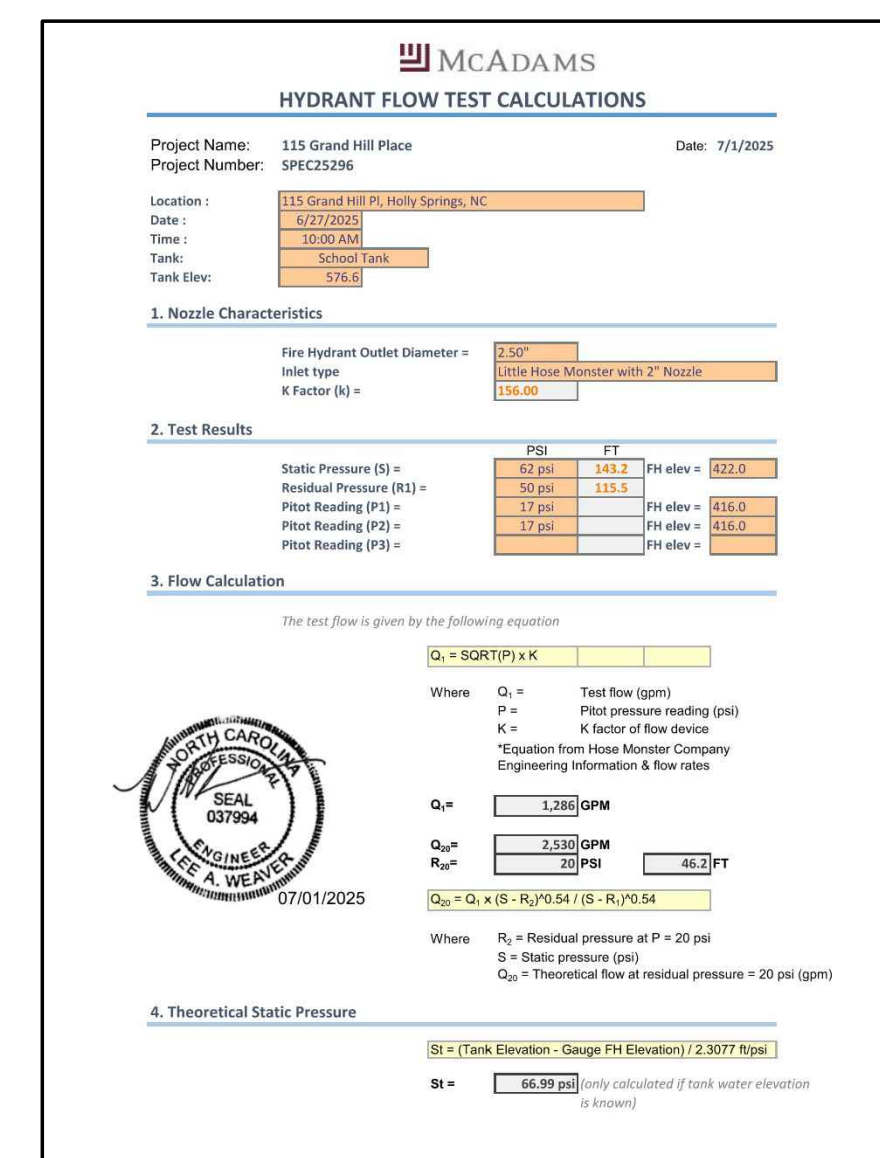
#### GENERAL NOTES:

- THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE THE DEVELOPMENT OF AN EXISTING 1.59 AC PRE-GRADING TRACT OF LAND PROPOSED FOR DEVELOPMENT IS A JIM 'N NICK'S RESTAURANT WITH ASSOCIATED PARKING AREAS. THE SITE IS PART ON A MASTER DEVELOPMENT PLAN AND STORMWATER MANAGEMENT IS PROVIDED THROUGH THE EXISTING MASTER DETENTION POND.
- SITE IS LOCATED AT 115 GRAND HILLS PLACE, PIN# 0649458227, LAND LOT LAND LOT, DISTRICT DISTRICT, WAKE COUNTY, NORTH CAROLINA, AND IS ZONED CB.
- SITE AREA = ±1.59 AC ACRES
- TOTAL DISTURBED AREA = ±1.09 AC ACRES.
- THE RECEIVING WATERS FOR THIS SITE IS LITTLE BRANCH.
- THIS PROPERTY IS NOT LOCATED IN THE 100-YEAR FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAP 3720064900K, DATED 7/19/2022.
- TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION IS PER THE "ALTANSIPS LAND TITLE SURVEY FOR JIM 'N NICK'S", PREPARED BY SAM SURVEY SERVICES, DATED 11/28/2023.
- NO WETLANDS ARE LOCATED WITHIN THE LIMITS OF THE SUBJECT SITE.
- ALL UTILITIES IN AREAS OF CONSTRUCTION TO BE FIELD LOCATED AND VERIFIED PRIOR TO BEGINNING CONSTRUCTION.
- NOTIFY COUNTY INSPECTOR 24-HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- NO CONSTRUCTION ACTIVITY IS PERMITTED PRIOR TO ISSUANCE OF A LAND DISTURBANCE PERMIT ISSUED BY THE LOCAL AUTHORITY.
- ALL CONSTRUCTION STAGING, LOADING, TEMPORARY PARKING, AND LAYDOWN AREAS SHALL BE COORDINATED WITH BOTH THE TENANT AND LANDLORD/OWNER PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITIES.
- ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.). SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
- AREA(S) ENCOMPASSING NEW HANDICAP STALLS AND STRIPING SHALL NOT TO EXCEED 2% (1:50) SLOPE IN ANY DIRECTION.
- ALL CONSTRUCTION TO CONFORM TO HOLLY SPRINGS AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
- ALL EXTERIOR LIGHTING SHALL BE GLARE SHIELDED AND NON-DIRECTIONAL TO PREVENT DIRECT ILLUMINATION OF ADJACENT PROPERTIES.
- MAXIMUM CUT / FILL SLOPES = 2 HOR. TO 1 VERT.

PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS.

CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION ON THIS PROJECT MAY BEGIN. DEVELOPMENT FEES ARE DUE BEFORE CONSTRUCTION DRAWING APPROVAL.

TYPE OF DEVELOPMENT: DEVELOPMENT PLAN



SEWER FLOW ESTIMATE:

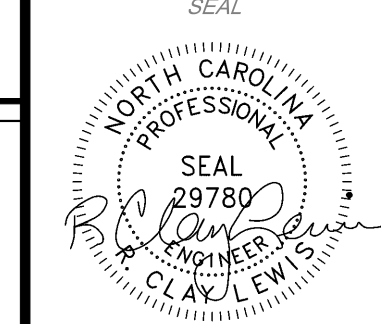
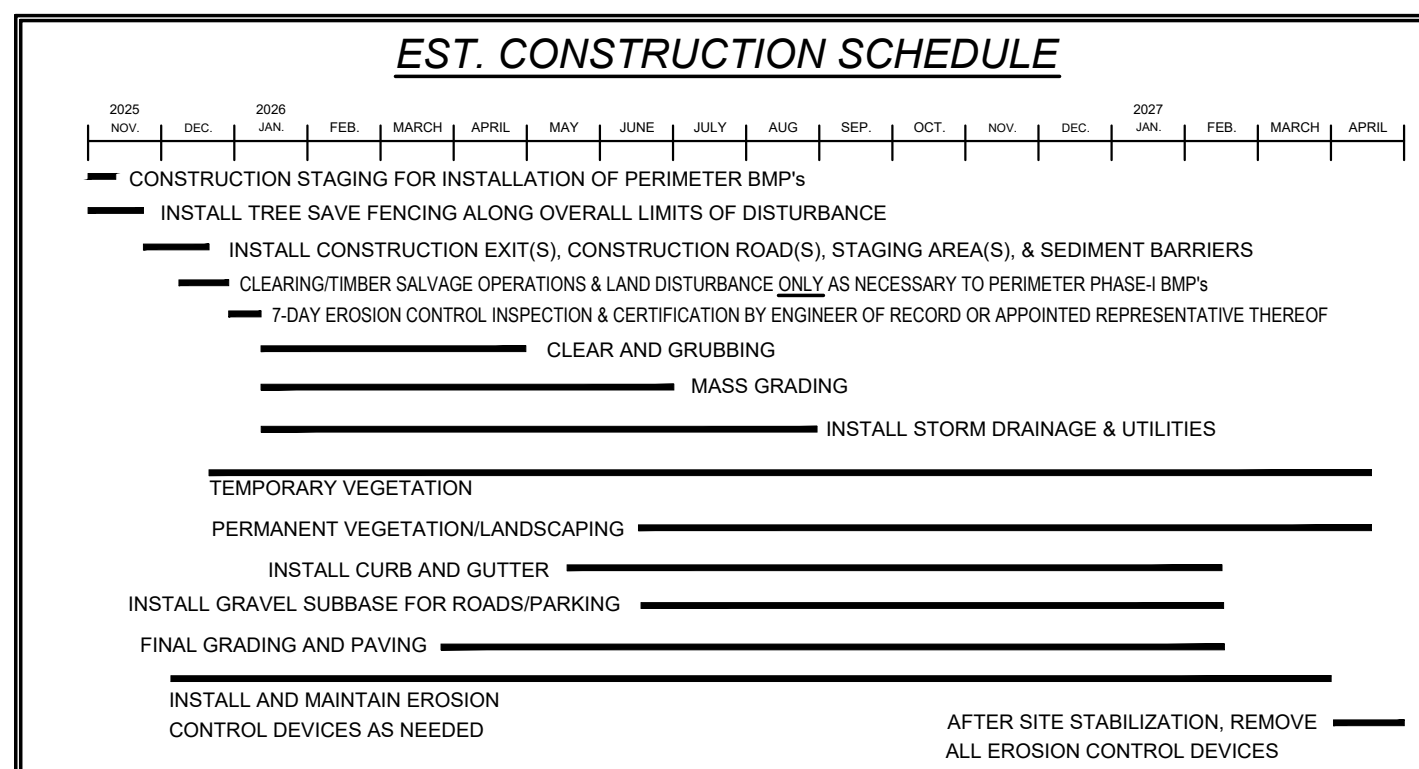
TYPE OF ESTABLISHMENT	DAILY FLOW FOR DESIGN
RESTAURANT, FULL SERVICE	40 GAL/SEAT
NUMBER OF SEATS	CAPACITY
168	168 X 40 = 6,720 GPD

Methodology: NCDEQ 15A NCAC 02T.0114 Rule

**SURVEY DATA:**  
HORIZONTAL DATUM - BASED UPON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD83, US SURVEY FEET. SAID BEARINGS ORIGINATED FROM SAID COORDINATE SYSTEM BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NOS CORN) NETWORK.  
VERTICAL DATUM - NAVD 88  
GRID 18  
COMBINED GRID FACTOR: 0.999882394

TOTAL SITE AREA = ±1.59 AC Acres  
DISTURBED AREA = ±1.09 AC Acres  
POST-DEVELOPED:  
Onsite Impervious Area = ±1.09 Acres  
Onsite Pervious Area = ±0.50 Acres

**N.P.D.E.S. PRIMARY PERMITTEE**  
JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451  
EMAIL: MLINNABARY@JIMNICKS.COM  
24-HR. CONTACT: PERRY JONES  
24-HR. PHONE: (214)-478-0370



**JIM 'N NICK'S  
COMMUNITY  
BAR-B-Q**

**HOLLY SPRINGS  
JIM 'N NICK'S**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY	CHECKED BY
AAA	SCA

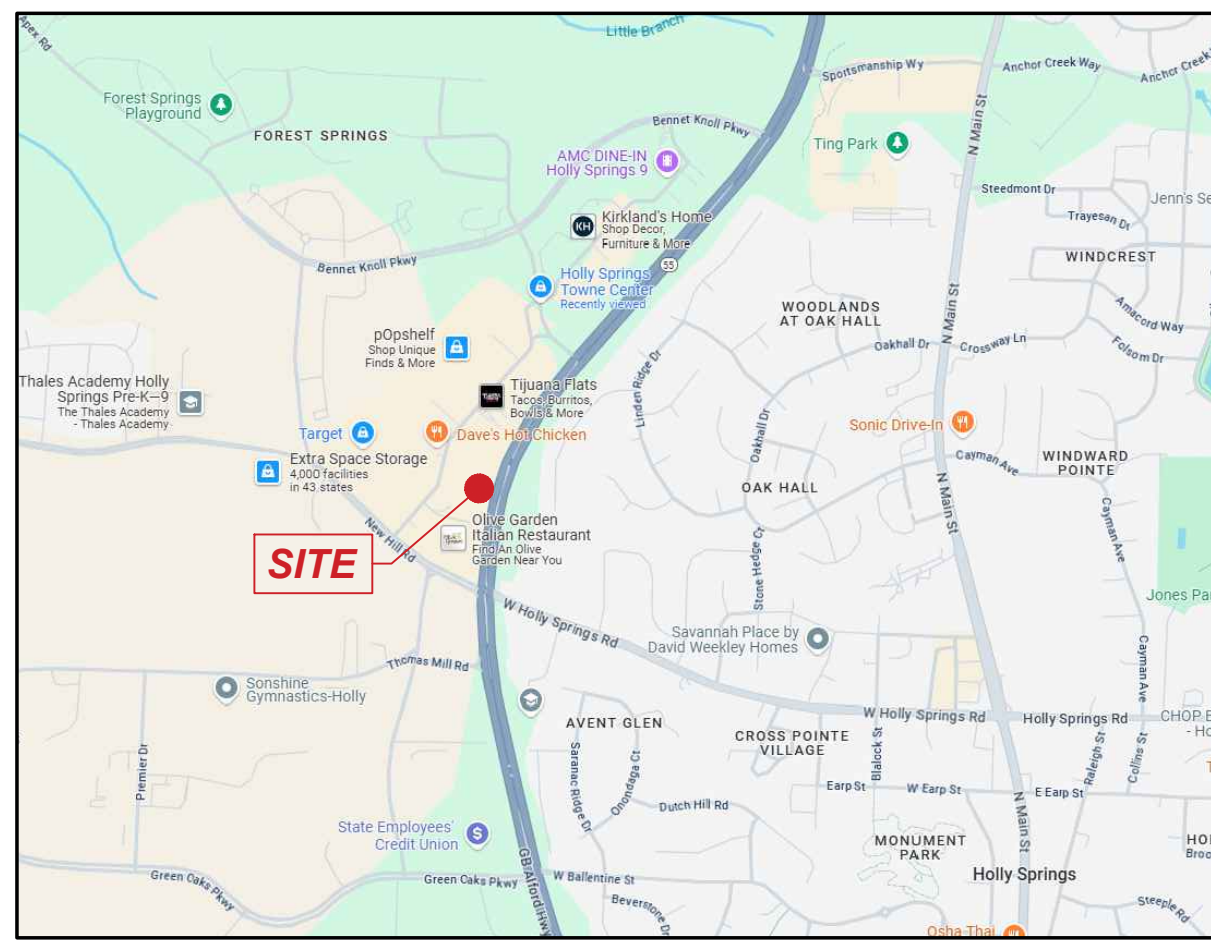
DATE
07-08-2025

SHEET TITLE
COVER SHEET

SHEET NUMBER
C-0.0

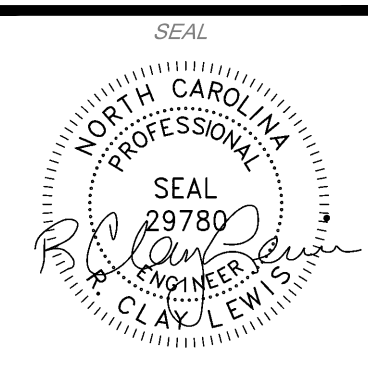
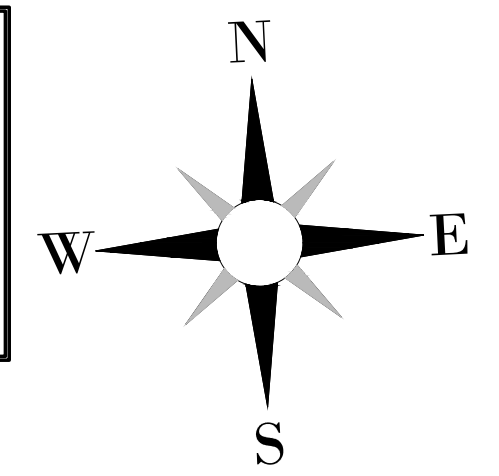


LOCATION MAP

Building / Use	Area (sq. ft.)	Required Parking				Provided Parking		
		Minimum		Maximum		Total EV	Total Previous	Total
		Total	Ratio	Total	Ratio			
Restaurant	6,276	19	3 space / 1000 s.f.	31	5 space / 1000 s.f.	5	26	47

1. Developer: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451

2. Civil Engineer: HAINES, GIPSON & ASSOCIATES, INC.  
1550 NORTH BROWN ROAD, SUITE 100  
LAWRENCEVILLE, GEORGIA 30043  
PHONE: 770-491-7550



A PROJECT OF:  
**JIM 'N NICK'S**  
COMMUNITY  
**BAR-B-Q**

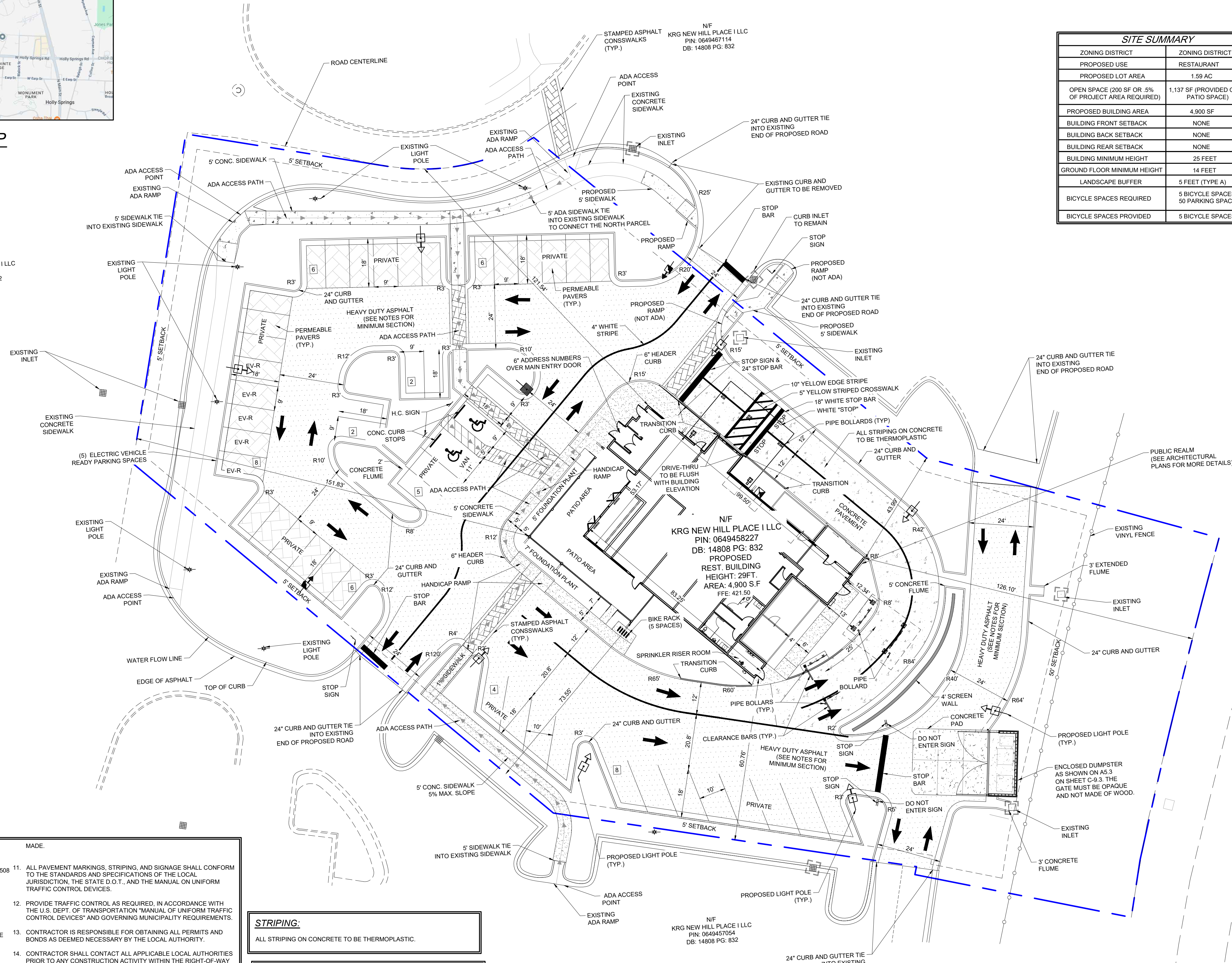
**HOLLY SPRINGS**  
**JIM 'N NICKS**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

NO.	BY	DATE	DESCRIPTION
1	AAA	10.02.25	CITY COMMENTS
2	AAA	10.31.25	CITY COMMENTS

DRAWN BY AAA	CHECKED BY SCA
DATE 07-08-2025	
SHEET TITLE SITE PLAN	
SHEET NUMBER C-1.0	

SITE SUMMARY	
ZONING DISTRICT	RESTAURANT
PROPOSED LOT AREA	1.59 AC
OPEN SPACE (200 SF OR .5% OF PROJECT AREA REQUIRED)	1,137 SF (PROVIDED OPEN PATIO SPACE)
PROPOSED BUILDING AREA	4,900 SF
BUILDING FRONT SETBACK	NONE
BUILDING BACK SETBACK	NONE
BUILDING REAR SETBACK	NONE
BUILDING MINIMUM HEIGHT	25 FEET
GROUND FLOOR MINIMUM HEIGHT	14 FEET
LANDSCAPE BUFFER	5 FEET (TYPE A)
BICYCLE SPACES REQUIRED	5 BICYCLE SPACES/ 50 PARKING SPACES
BICYCLE SPACES PROVIDED	5 BICYCLE SPACES

LEGEND	
EXISTING EDGE OF PAVEMENT	---
EXISTING CURB & GUTTER	---
EXISTING BUILDING	---
PROPOSED CONCRETE CURB & GUTTER	---
PROPOSED BUILDING	---
PROPOSED RETAINING WALL	---
PROPERTY LINES	---
PROPOSED COMPACTOR BUILDING	---
PROPOSED PAINTED CROSSWALK	---
PROPOSED SIGNAGE	---
PROPOSED SIGNAGE SYMBOLS	---
PROPOSED HANDICAP RAMPS	---
PROPOSED CONCRETE SIDEWALKS	---
PROPOSED HEAVY DUTY CONCRETE	---
PROPOSED STANDARD DUTY ASPHALT	---
PROPOSED HEAVY DUTY ASPHALT	---
PERMEABLE PAVERS	---



- GENERAL SITE NOTES:**
- OWNER/DEVELOPER: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
HOLLY SPRINGS, AL 35203
  - SITE IS LOCATED AT THE 115 GRAND HILLS PLACE, PARCEL #s 0649458227, CITY OF HOLLY SPRINGS, WAKE COUNTY, NORTH CAROLINA, AND CONSISTS OF ±1.59 AC ACRES.
  - THE SITE IS ZONED CB.
  - ALL DIMENSIONS AND RADII ARE TO/FROM THE FACE OF CURB, EDGE OF ASPHALT, AND/OR THE OUTSIDE FACE OF THE BUILDING WALL UNLESS OTHERWISE STATED. ALL RADII DIMENSION ADJACENT TO PARKING SPACES ARE 3' UNLESS OTHERWISE NOTED.
  - ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.), SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
  - ALL SIGNAGE TO BE PERMITTED UNDER SIGN REGULATIONS IN EFFECT AT TIME OF SIGN PERMIT APPLICATION SUBMITTAL.
  - UNLESS OTHERWISE NOTED, ALL PAVEMENT IS TO BE STANDARD DUTY ASPHALT.
  - TYPICAL PAVEMENT SECTION FOR THE NEW PAVEMENTS ARE INCLUDED IN THE CONSTRUCTION DETAIL SHEETS.
  - ALL CONSTRUCTION TO CONFORM TO HOLLY SPRINGS STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
  - ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION, THE STATE D.O.T., AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - PROVIDE TRAFFIC CONTROL AS REQUIRED, IN ACCORDANCE WITH THE U.S. DEPT. OF TRANSPORTATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND GOVERNING MUNICIPALITY REQUIREMENTS.
  - CONTRACTOR SHALL CONTACT ALL APPLICABLE LOCAL AUTHORITIES PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT-OF-WAY TO OBTAIN THE APPROPRIATE PERMITS.
  - THERE ARE NO WETLANDS PRESENT ON THE PROPOSED SITE.
  - THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS 3720064900K, AND THE DATE OF SAID MAP IS 7/19/2022. THIS DETERMINATION WAS MADE BY GRAPHICALLY LOCATING THE POSITION OF THE SUBJECT SITE ON SAID FIRM MAPS UNLESS OTHERWISE NOTED.

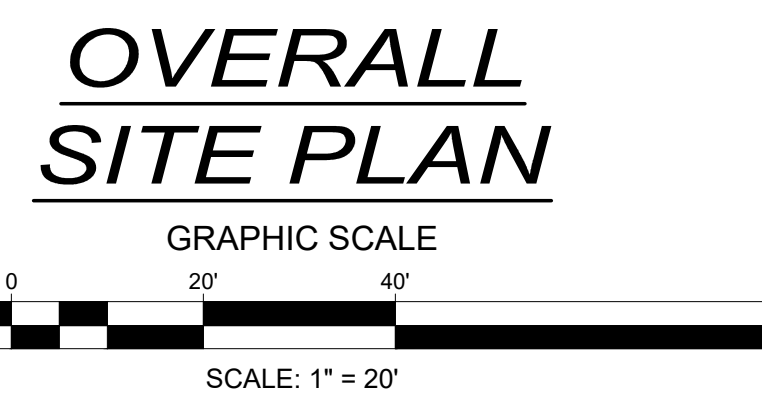
**STRIPING:**  
ALL STRIPING ON CONCRETE TO BE THERMOPLASTIC.

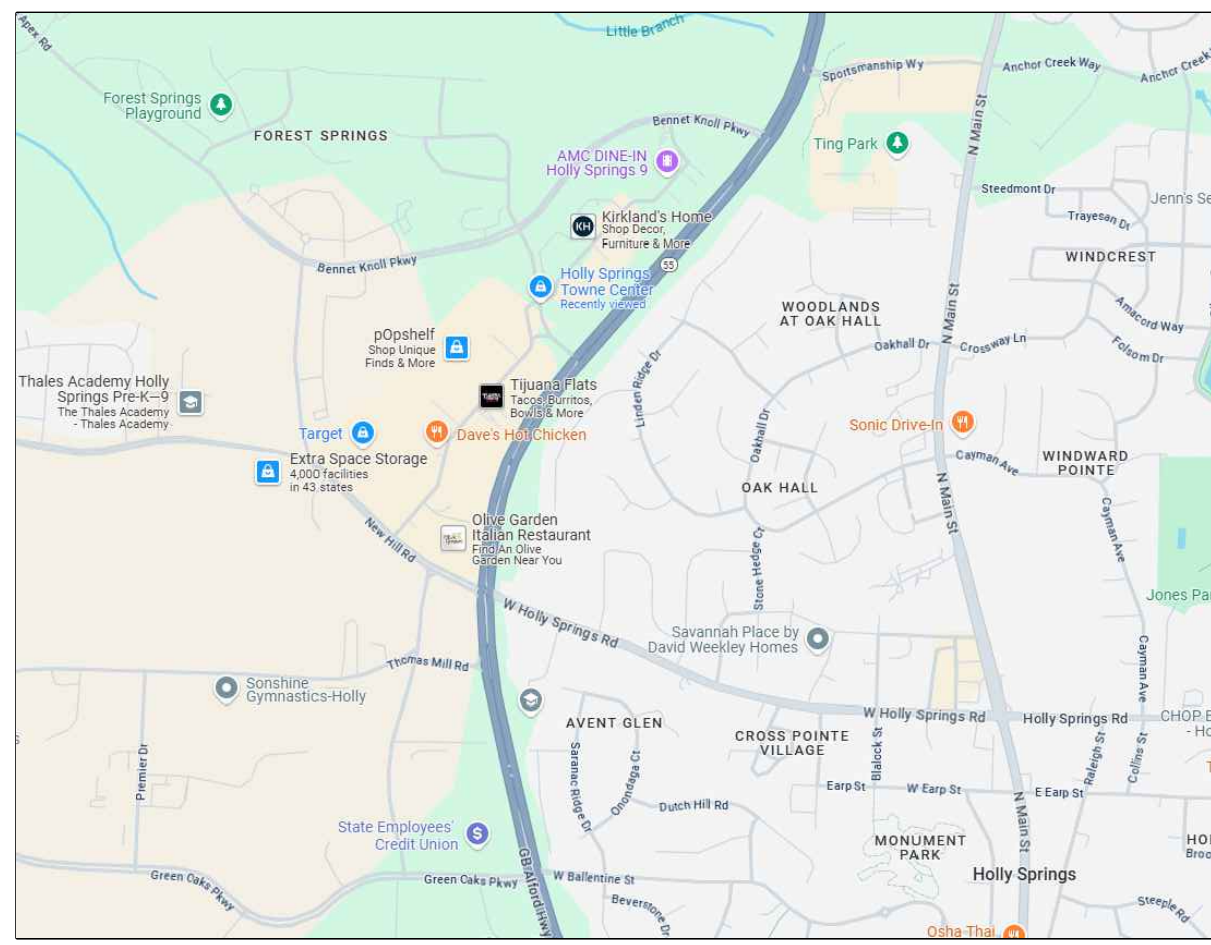
**PUBLIC REALM REQUIREMENT (UDO CHAPTER 8):**  
PER UDO CHAPTER 8, A PUBLIC REALM IS REQUIRED FOR THIS DEVELOPMENT. PLEASE SEE ARCHITECTURAL PLANS FOR PUBLIC REALM.

**TOTAL SITE AREA = ±1.59 AC ACRES**  
**EXISTING/PRE-DEVELOPED:**  
IMPERVIOUS AREA = 30.09 AC.  
PERVIOUS AREA = ±1.50 AC.  
**POST-DEVELOPED:**  
IMPERVIOUS AREA = 17.09 AC.  
PERVIOUS AREA = ±0.50 AC.

**STORMWATER MANAGEMENT NOTE:**  
• STORMWATER MANAGEMENT FOR THIS PROJECT IS PROVIDED OFF-SITE.  
• FOR ADDITIONAL INFORMATION, APPROVED CONSTRUCTION DOCUMENTS ENTITLED "NEW HILL PLACE - PHASE 1" STORM DRAINAGE CALCULATIONS DESIGNED BY W.T. O' DANIEL, PE., DATED 7, 2011.

**HEAVY DUTY PAVEMENT SECTION NOTES:**  
1. THE STANDARD HEAVY DUTY ROADWAY CROSS-SECTION WILL BE WOVEN GEO-FABRIC DESIGN CRITERIA HP 270 OR EQUAL, 7" ABC STONE, WITH ASPHALT COMPLETED IN STAGED CONSTRUCTION OF 4" 1.19 ASPHALT AND 1.5" 59.5C IN STAGE ONE AND 1.5" 59.5C FINAL OVERLAY. (SECTION 3.02.1)



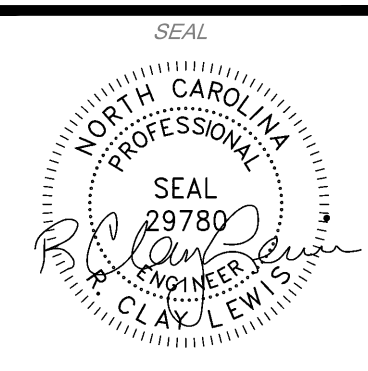
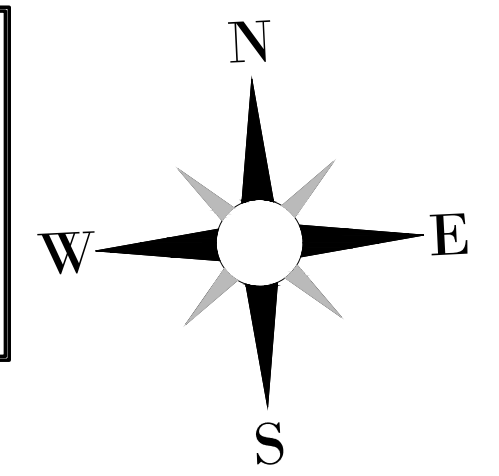


LOCATION MAP

SITE DATA									
Building / Use	Area (sq. ft.)	Required Parking				50% Increase of Maximum Allowed	Provided Parking		
		Total	Ratio	Total	Ratio		Total EV	Total Pervious	Total
Restaurant	6,276	19	3 space / 1000 s.f.	31	5 space / 1000 s.f.	16	5	26	46

1. Developer: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451

2. Civil Engineer: HAINES, GIPSON & ASSOCIATES, INC.  
1550 NORTH BROWN ROAD, SUITE 100  
LAWRENCEVILLE, GEORGIA 30043  
PHONE: 770-491-7550

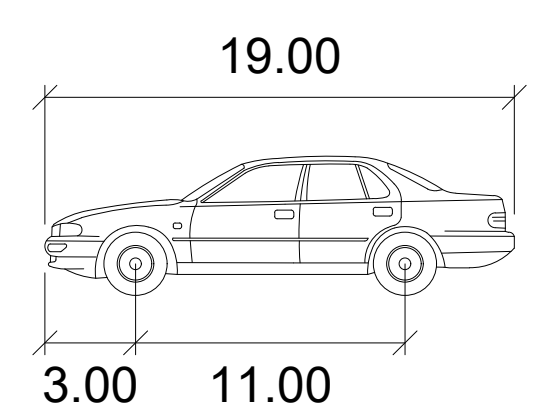
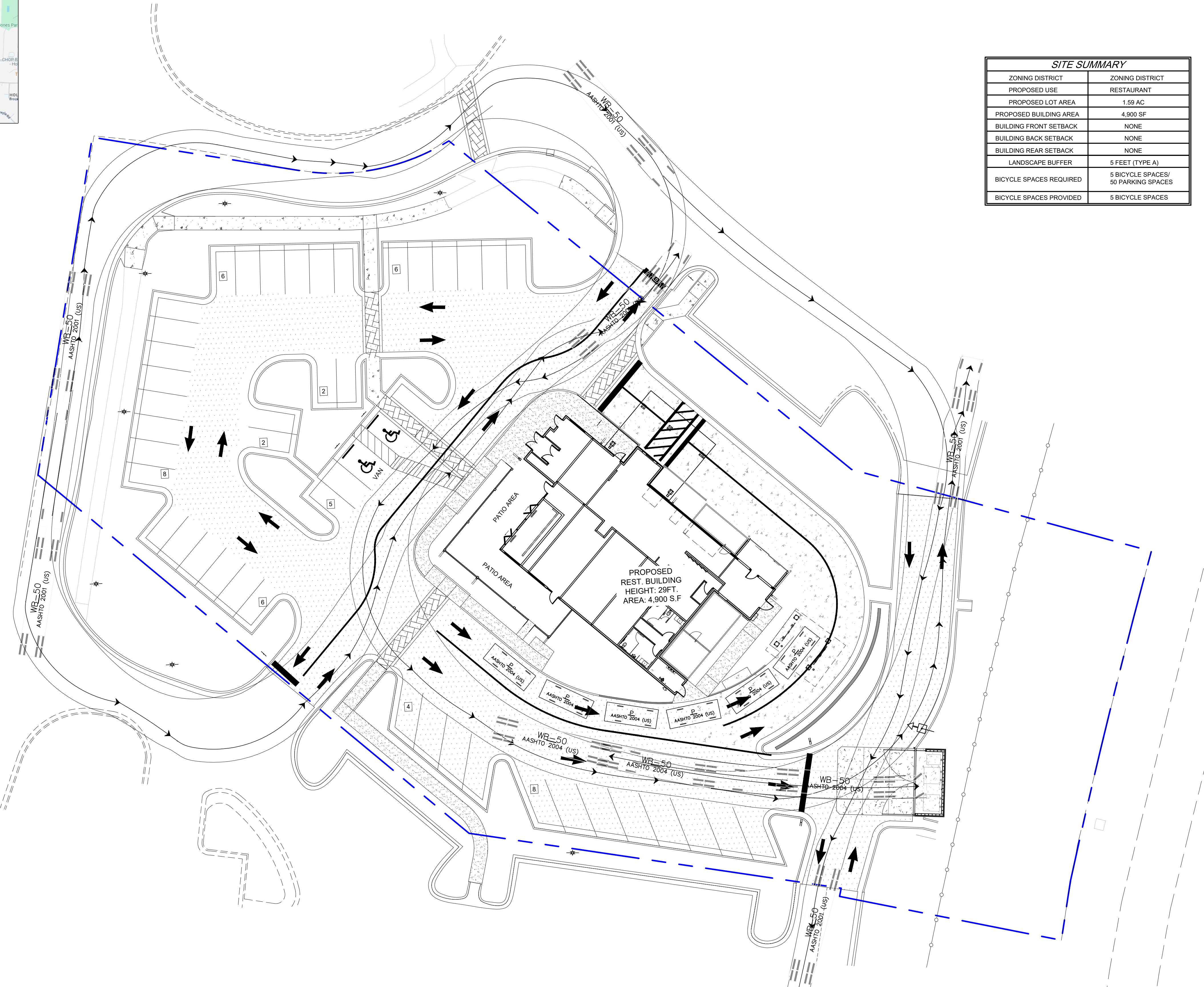


A PROJECT OF:  
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COMMUNITY  
**BAR-B-QUE**

**HOLLY SPRINGS**  
**JIM 'N NICKS**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

SITE SUMMARY	
ZONING DISTRICT	ZONING DISTRICT
PROPOSED USE	RESTAURANT
PROPOSED LOT AREA	1.59 AC
PROPOSED BUILDING AREA	4,900 SF
BUILDING FRONT SETBACK	NONE
BUILDING REAR SETBACK	NONE
BUILDING REAR SETBACK	NONE
LANDSCAPE BUFFER	5 FEET (TYPE A)
BICYCLE SPACES REQUIRED	5 BICYCLE SPACES/ 50 PARKING SPACES
BICYCLE SPACES PROVIDED	5 BICYCLE SPACES

LEGEND	
EXISTING EDGE OF PAVEMENT	---
EXISTING CURB & GUTTER	---
EXISTING BUILDING	---
PROPOSED CONCRETE CURB & GUTTER	---
PROPOSED BUILDING	---
PROPOSED RETAINING WALL	---
PROPERTY LINES	---
PROPOSED COMPACTOR BUILDING	---
PROPOSED PAINTED CROSSWALK	---
PROPOSED SIGNAGE	---
PROPOSED SIGNAGE SYMBOLS	---
PROPOSED HANDICAP RAMPS	---
PROPOSED CONCRETE SIDEWALKS	---
PROPOSED HEAVY DUTY CONCRETE	---
PROPOSED STANDARD DUTY ASPHALT	---
PROPOSED HEAVY DUTY ASPHALT	---
PERMEABLE PAVERS	---

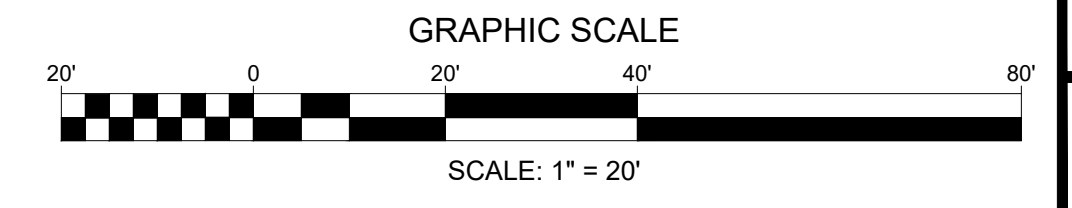


**P**

Width : 7.00 feet  
Track : 6.00 feet  
Lock to Lock Time : 6.0 seconds  
Steering Angle : 31.6 degrees

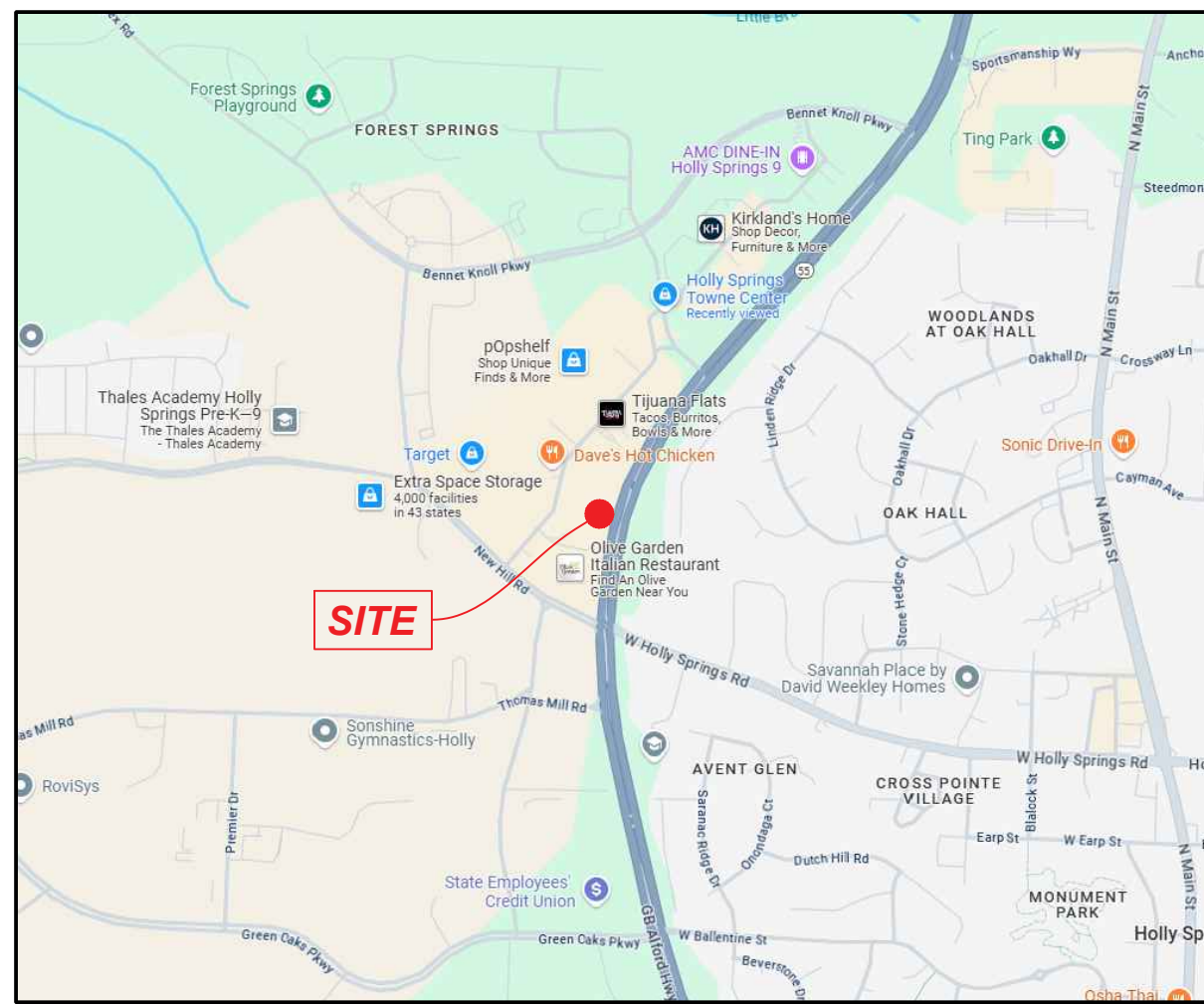
NC HIGHWAY - 55

**TRUCK TURN & DRIVE-THRU PLAN**



NO.	BY	DATE	DESCRIPTION
AAA	AAA	10-02-25	CITY COMMENTS
AAA	AAA	10-31-25	CITY COMMENTS

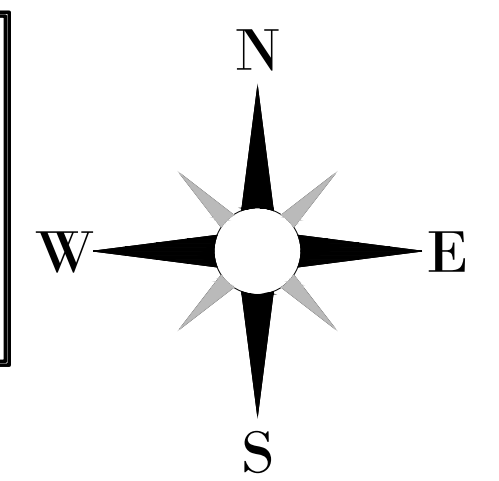
DRAWN BY	CHECKED BY	DATE	SHEET TITLE	SHEET NUMBER
AAA	SCA	07-08-2025	TRUCK TURN & DRIVE-THRU PLAN	C-1.1



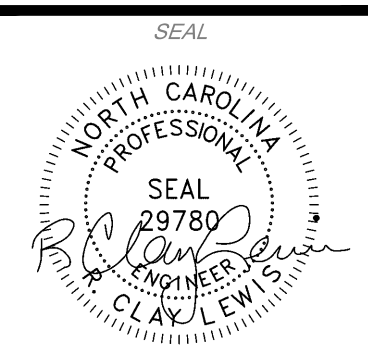
LOCATION MAP

1. Developer: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
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**HGA**  
HAINES GIPSON & ASSOCIATES  
Civil - Structural - Bridge



**JIM 'N NICK'S**  
COMMUNITY  
**BAR-B-QUE**

**HOLLY SPRINGS**  
**JIM 'N NICK'S**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

### HYDRANT FLOW TEST CALCULATIONS

Project Name: 115 Grand Hill Place  
Project Number: SPEC23296  
Date: 7/1/2025

Location: 115 Grand Hill Pl, Holly Springs, NC  
Date: 07/01/2025  
Time: 10:00 AM  
Task: School Task  
Task Eler: 37.6

#### 1. Nozzle Characteristics

Fire Hydrant Outlet Diameter = 2.50"  
Inlet type: Little Horse Monitor with 3" Nozzle  
K Factor (K) = 116.00

#### 2. Test Results

	PSI	FT	Flow (gpm)
Static Pressure (S) =	42.00	443.2	Fr elev = 422.0
Residual Pressure (R1) =	50.00	115.5	
Pilot Reading (P1) =	17.00		Fr elev = 416.0
Pilot Reading (P2) =	17.00		Fr elev = 416.0
Pilot Reading (P3) =			

#### 3. Flow Calculation

The test flow is given by the following equation:

$$Q_n = \text{SQRT}(P) \times K$$

Where:  
 $Q_n$  = Test flow (gpm)  
 $P$  = Pilot pressure reading (psi)  
 $K$  = K factor of flow device  
\*Equation from Hose Monitor Company Engineering Information & flow rates

$Q_n = 1,286$  GPM  
 $Q_{n1} = 2,530$  GPM  
 $Q_{n2} = 20$  GPM  
 $Q_{n3} = 46.2$  FT

Where:  
 $R_1$  = Residual pressure at P = 20 psi  
 $S$  = Static pressure (psi)  
 $Q_n$  = Theoretical flow at residual pressure = 20 psi (gpm)

#### 4. Theoretical Static Pressure

$(S) = (\text{Tank Elevation} - \text{Grade FH Elevation}) / 2.3077 \text{ ft/psi}$   
 $S = 66.99$  psi (only calculated if tank water elevation is known)

**HOLLY SPRINGS RECLAIMED WATER SYSTEM IRRIGATION NOTES:**

- ALL RECLAIMED IRRIGATION WATER SYSTEMS WILL REQUIRE A RECLAIMED WATER USER PERMIT TO BE OBTAINED FROM TOWN OF HOLLY SPRINGS BUILDINGS & CODE ENFORCEMENT DEPARTMENT. COMMERCIAL IRRIGATION PERMITS ARE REQUIRED TO BE STAMPED BY A PROFESSIONAL ENGINEER.
- IF ANY RECLAIMED IRRIGATION TO BE USED, A SOIL REPORT SHOWING THE INFILTRATION RATE MUST BE SUBMITTED TO THE CITY FOR REVIEW.
- ALL NEW POWER LINES AND SERVICES MUST BE INSTALLED UNDERGROUND WITH THIS DEVELOPMENT.

**HOLLY SPRINGS GENERAL NOTES:**

- KNOX BOX INSTALLED ON LATCH SIDE OF RISER ROOM DOOR, NO HIGHER THAN 5' ABOVE FINISH GRADE.
- A MINIMUM OF 6" ADDRESS NUMBERS.
- ALL NEW POWER LINES AND SERVICES MUST BE INSTALLED UNDERGROUND WITH THIS DEVELOPMENT.

**GENERAL UTILITY NOTES:**

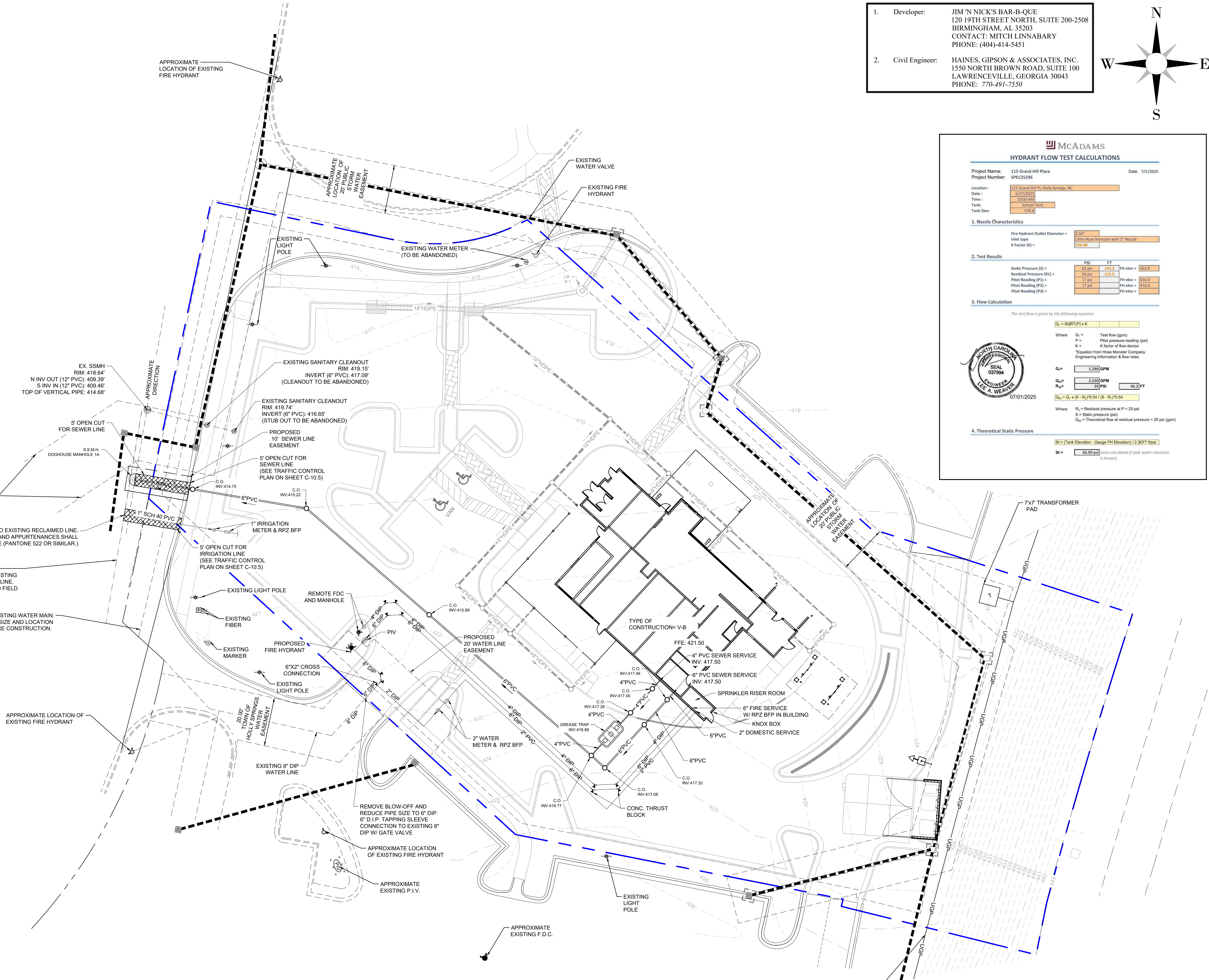
- UNLESS SPECIFICALLY DENOTED IN CONTRACT DOCUMENTS, CONTRACTOR TO RETAIN AND PROTECT ALL EXISTING UTILITIES, IF CONFLICT OCCURS, CONTACT CIVIL ENGINEER IMMEDIATELY.
- CONTRACTOR TO COORDINATE POWER, TELEPHONE, AND GAS SERVICE WITH INDIVIDUAL UTILITY PROVIDER.
- CONTRACTOR TO SEE SITE ELECTRICAL PLANS BY OTHERS FOR SITE LIGHTING LOCATIONS, SERVICE, AND DETAILS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS, SIZES, MATERIAL TYPES, AND INVERT ELEVATIONS OF ALL EXISTING SANITARY SEWER AND STORM DRAINAGE STRUCTURES AND PIPES PRIOR TO CONSTRUCTION, AND NOTIFY THE OWNER AND CIVIL ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL CONSTRUCT ALL TEMPORARY EROSION CONTROL SYSTEMS AS DIRECTED BY THE ENGINEER OR MUNICIPAL INSPECTOR TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL LOCATE AND IDENTIFY ALL EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.
- LOCATIONS OF THE EXISTING UTILITY LINES ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION.
- SEE PLUMBING DRAWINGS FOR EXACT UTILITY CONNECTION LOCATION AT THE BUILDING. LOCATIONS SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY AND SHOULD BE VERIFIED PRIOR TO INSTALLATION.
- MIN. HORIZONTAL SEPARATION OF 10'-FT. AND VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN WATER AND SANITARY SEWER FACILITIES.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- ALL WASTEWATER PIPE CONSTRUCTION MUST CONFORM TO ALL LOCAL UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS.
- ALL CLEANOUT CAPS MUST BE BRASS AND BE PLACED FLUSH WITH THE EXISTING OR PROPOSED GRADES.

**LEGEND**

PROPOSED FEATURES	PROPOSED MANHOLE	EXISTING SANITARY SEWER	EXISTING TRANSFORMER PAD
PROPOSED CONCRETE CURB & GUTTER	PROPOSED CLEANOUT	EXISTING WATER LINE	EXISTING TRANSFORMER PAD
PROPOSED BUILDING	PROPOSED FIRE HYDRANT	EXISTING POWER LINE	
PROPERTY LINES	PROPOSED GATE VALVE	EXISTING STORM SEWER	
PROPOSED SANITARY SEWER	PROP. CONCRETE THRUST BLOCK	EXISTING NATURAL GAS	
PROPOSED WATER LINE	PROPOSED TRANSFORMER PAD	EXISTING TELEPHONE	
PROPOSED UNDERGROUND ELECTRICAL LINE		EXISTING FIRE HYDRANT	
PROPOSED GAS SERVICE LINE		EXISTING UTILITY POLE	
		EXISTING TRANSFORMER PAD	

THE DEVELOPER OR DEVELOPER'S CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE EXACT LOCATION, SIZE, AND MATERIAL OF ANY EXISTING WATER OR SEWER FACILITY PROPOSED FOR CONNECTION OR USE BY THIS PROJECT. THE RELOCATION OF ANY WATER/SEWER FACILITY REQUIRED TO AVOID ANY PART OF THIS DEVELOPMENT IS THE RESPONSIBILITY OF THE DEVELOPER.

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**OVERALL UTILITY PLAN**

GRAPHIC SCALE  
SCALE: 1" = 20'

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY: AAA  
CHECKED BY: SCA

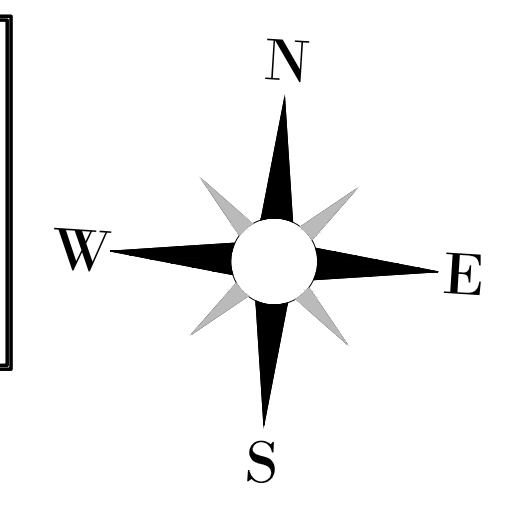
DATE: 07-08-2025  
SHEET TITLE: UTILITY PLAN  
SHEET NUMBER: C-2.0



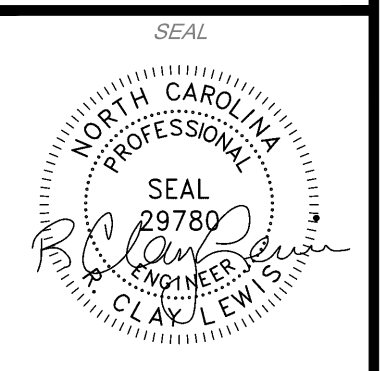
LOCATION MAP

1. Developer: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
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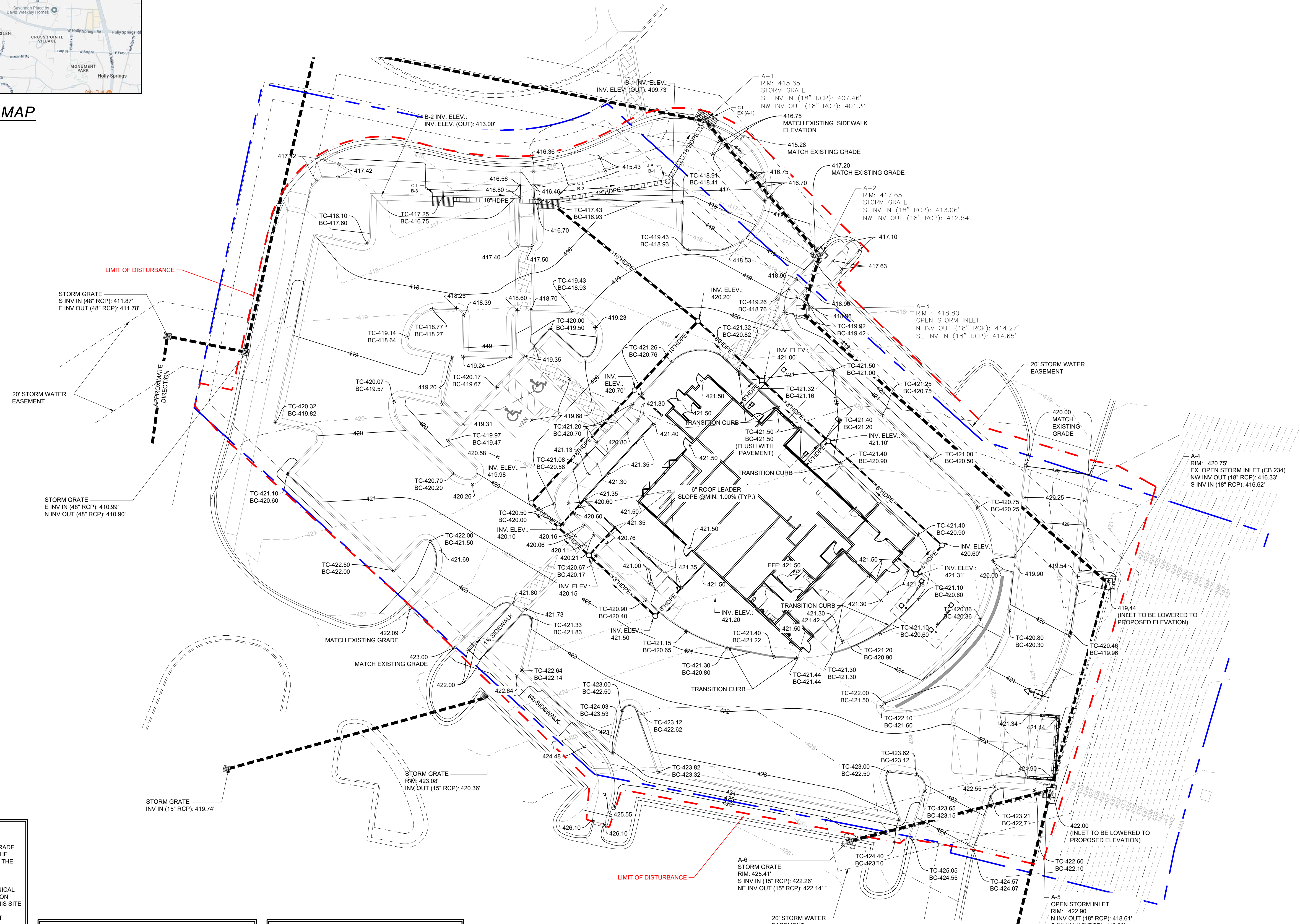


**HGA**  
HAINES GIPSON & ASSOCIATES  
Civil - Structural - Bridge



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COMMUNITY  
**BAR-B-Q**

**HOLLY SPRINGS**  
**JIM 'N NICKS**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540



**GENERAL GRADING NOTES:**

1. THE GRADE SHOWN ON THIS PLAN REPRESENT FINISHED GRADE. THE CONTRACTOR SHALL ALLOW FOR THE THICKNESS OF THE PAVEMENTS AND THE FLOOR SLABS WHEN FINISH GRADING THE SITE.
2. ALL CONSTRUCTION ON SITE MUST COMPLY WITH THE CONCLUSIONS AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ANY ADDITIONAL GEOTECHNICAL INVESTIGATION LETTERS OR ADDENDUMS PREPARED SPECIFICALLY FOR THIS SITE.
3. CONTRACTOR RESPONSIBLE FOR COMPLIANCE OF ALL BEST MANAGEMENT PRACTICES (BMPs) AS REGULATED BY THE ENVIRONMENTAL PROTECTION AGENCY. ANY FINES AND/OR COSTS WHICH ARE THE RESULT OF NON-COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. MAXIMUM CUT / FILL SLOPES = 2 HOR. TO 1 VERT.
5. CONTRACTOR TO MAINTAIN MINIMUM COVER OVER EXISTING AND PROPOSED UTILITIES AS REQUIRED BY THE LOCAL ISSUING AUTHORITY AND/OR THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
6. ALL ROOF DRAIN LEADERS AND ROOF DRAIN COLLECTOR PIPES SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1%.
7. STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION.

**BUILDING MATERIALS COVERAGE**

- BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE SHALL BE COVERED (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE EXPOSURES OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS.
- MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

**ALL STORMWATER INFRASTRUCTURE ON THIS SITE ARE PRIVATELY OWNED AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.**

**TOTAL SITE AREA = ±1.59 AC ACRES**

**EXISTING/PRE-DEVELOPED:**  
IMPERVIOUS AREA = 20.09 AC.  
PERVIOUS AREA = ±1.50 AC.

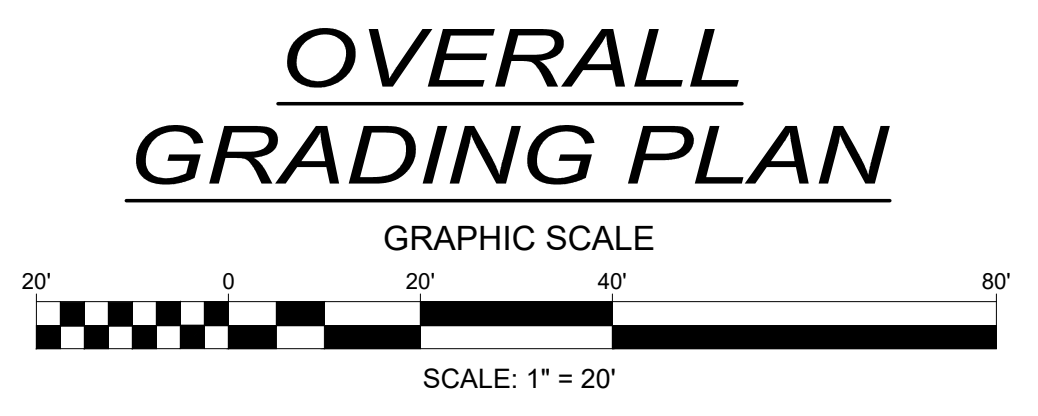
**POST-DEVELOPED:**  
IMPERVIOUS AREA = 31.09 AC.  
PERVIOUS AREA = 20.50 AC.

THE GRADES SHOWN ON THIS PLAN REPRESENT FINISHED GRADE. THE CONTRACTOR SHALL ALLOW FOR THE THICKNESS OF THE PAVEMENTS AND THE FLOOR SLABS WHEN FINISH GRADING THE SITE.

SEE ES&P PLANS FOR ALL SILT & TREE SAVE FENCE LOCATIONS, AS WELL AS ANY ADDITIONAL EROSION AND SEDIMENT POLLUTION CONTROL MEASURES.

**STORMWATER MANAGEMENT NOTE:**

- STORMWATER MANAGEMENT FOR THIS PROJECT IS PROVIDED OFF-SITE.
- FOR ADDITIONAL INFORMATION, APPROVED CONSTRUCTION DOCUMENTS ENTITLED "NEW HILL PLACE - PHASE 1" STORM DRAINAGE CALCULATIONS DESIGNED BY W.T. O' DANIEL, PE., DATED 7. 2011.
- TOTAL IMPERVIOUS AREA ALLOWED TO SITE BY MASTER PLAN= 1.05 AC. TOTAL IMPERVIOUS AREA PROPOSED = 1.01 AC. (DUE TO THE DECREASE IN IMPERVIOUS AREA COMPARED TO THE ALLOWED IMPERVIOUS AREA PER THE MASTER PLAN, THE PROPOSED SITE WILL NOT ADVERSELY IMPACT THE EXISTING STORMWATER CONDITIONS.)



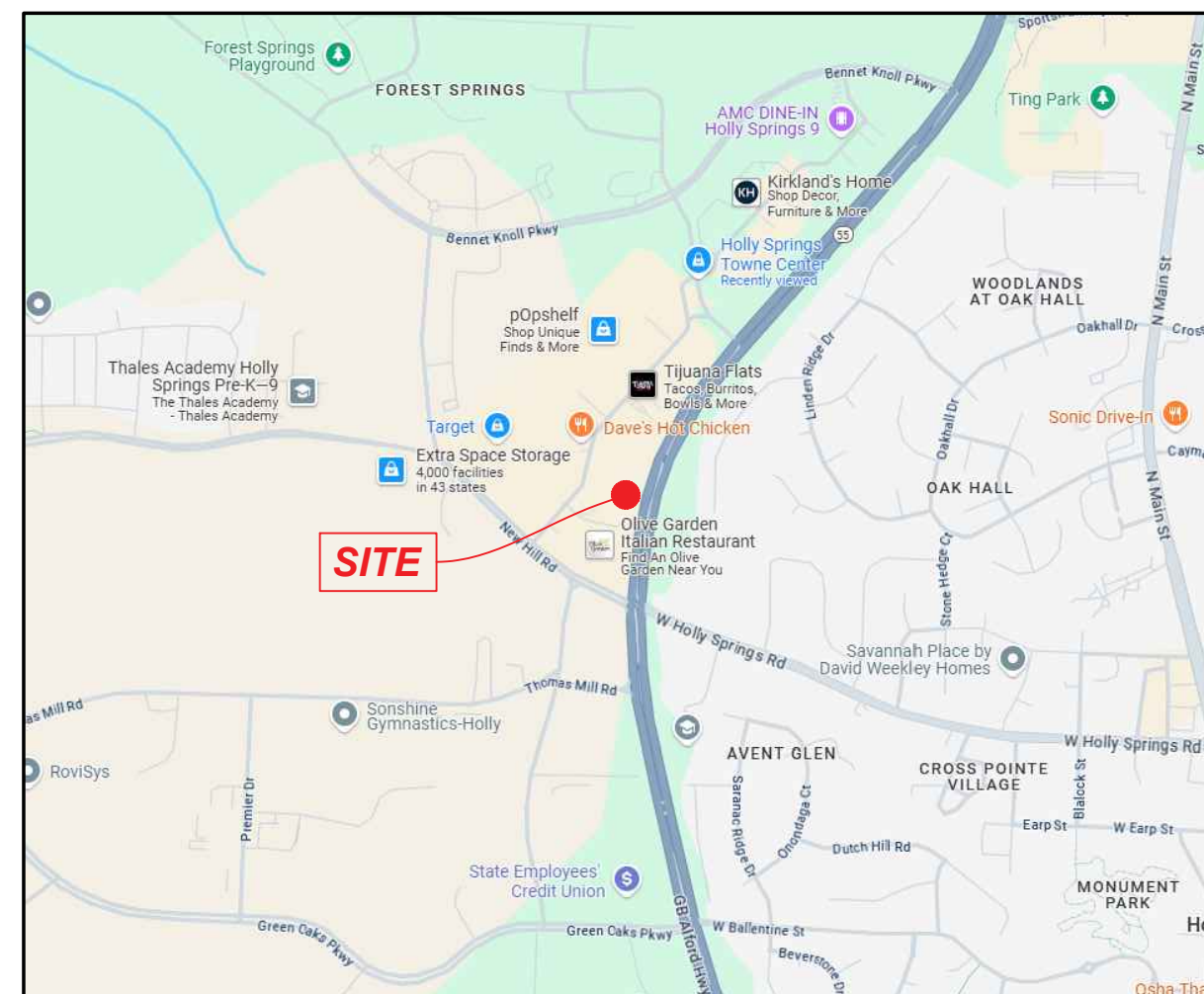
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
AAA	10.02.25	CITY COMMENTS			
AAA	10.31.25	CITY COMMENTS			

DRAWN BY: AAA  
CHECKED BY: SCA

DATE: 07-08-2025

SHEET TITLE: GRADING PLAN

SHEET NUMBER: C-3.0



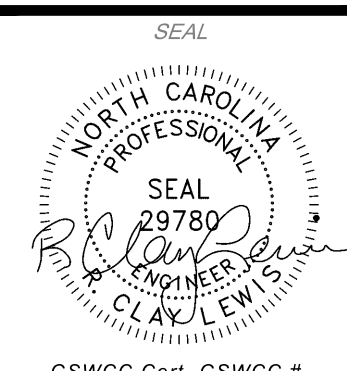
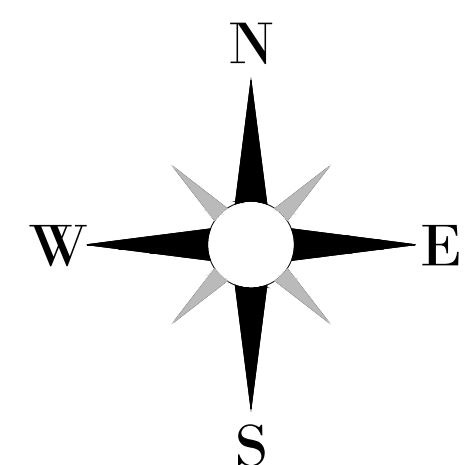
LOCATION MAP

**EROSION CONTROL MEASURES - PHASE I**

- LAND DISTURBANCE ONLY AS REQUIRED TO INSTALL THE SPECIFIED PERIMETER BMP'S.
- INSTALL TEMPORARY CONSTRUCTION EXITS.
- INSTALL TREE SAVE FENCING ALONG OVERALL LIMITS OF DISTURBANCE LINE.
- INSTALL PERIMETER SILT FENCING.
- INSTALL CONSTRUCTION ACCESS ROAD(S) AND CONSTRUCTION STAGING AREA(S).
- INSTALL THE SPECIFIED TEMPORARY SEDIMENT SKIMMER BASINS, AS WELL AS THE SPECIFIED DIVERSION DITCHES, AS WELL AS THE SPECIFIED STORM SEWER PIPES AND STRUCTURES.
- APPLY TEMPORARY SEEDING, APPROVED SLOPE STABILIZATION & SEEDING MEASURES ON ALL SLOPES  $\geq$  3H:1V, AND/OR MULCH TO STABILIZE ALL DISTURBED AREAS.
- IMPLEMENT AND MAINTAIN DUST CONTROL MEASURES THROUGHOUT CONSTRUCTION.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE IMPLEMENTED BMP'S MAINTENANCE REQUIREMENTS AND IN ACCORDANCE WITH THE GENERAL PERMIT.
- FOLLOWING COMPLETE IMPLEMENTATION OF THE PHASE-I EROSION CONTROL PLAN, NOTIFY ENGINEER OF RECORD THAT PHASE I BMP'S HAVE BEEN INSTALLED. ENGINEER OF RECORD SHALL CONDUCT AN INSPECTION AND ISSUE REPORT OF FINDINGS PRIOR TO COMMENCEMENT OF ADDITIONAL SITEWORK CONSTRUCTION.

1. Developer: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451

2. Civil Engineer: HAINES, GIPSON & ASSOCIATES, INC.  
1550 NORTH BROWN ROAD, SUITE 100  
LAWRENCEVILLE, GEORGIA 30043  
PHONE: 770-491-7550



A PROJECT OF:

**JIM 'N NICK'S**  
COMMUNITY  
**BAR-B-QUE**

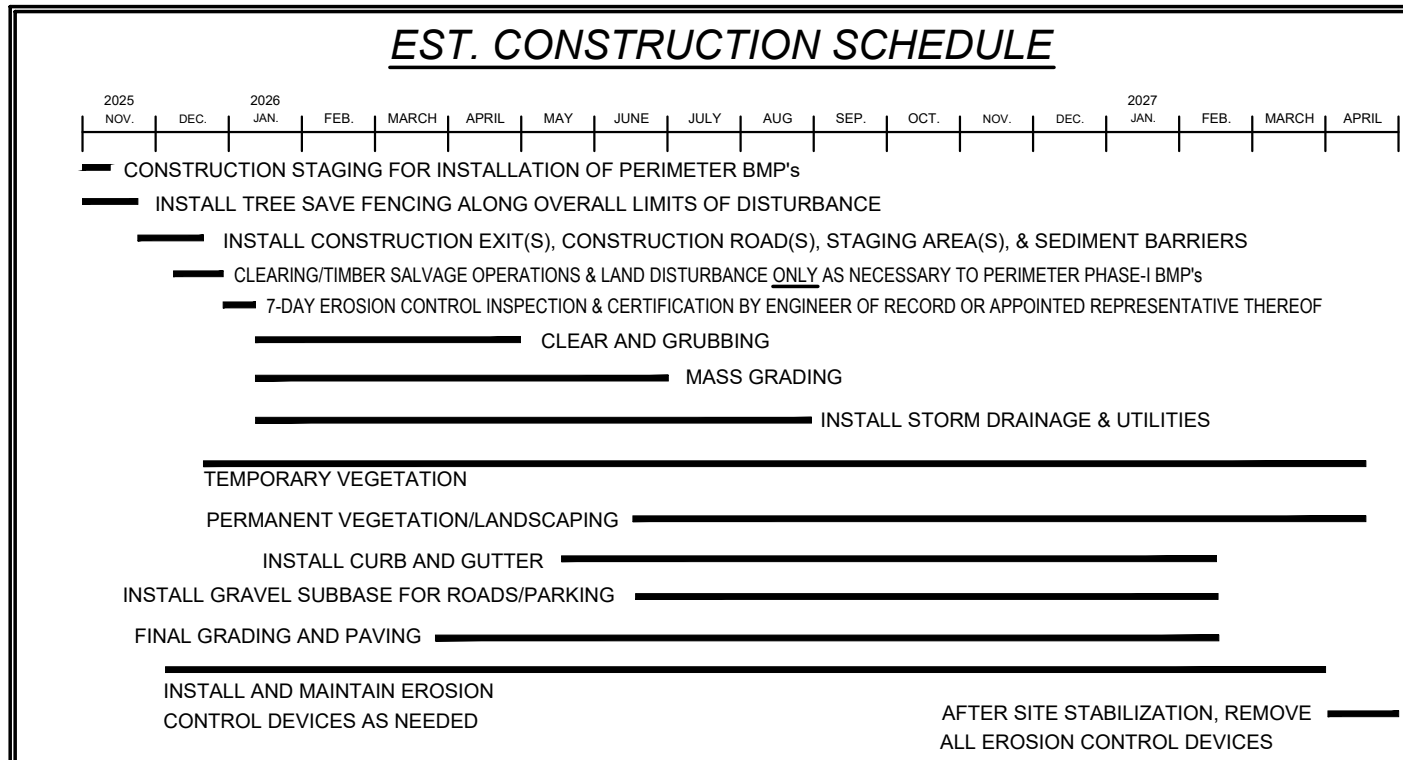
**HOLLY SPRINGS**  
**JIM 'N NICKS**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

**BUILDING MATERIALS COVERAGE**

- BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE SHALL BE COVERED (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE EXPOSURES OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS.
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**EROSION & SEDIMENT CONTROL NOTES:**

1. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7-DAYS AFTER INSTALLATION.
2. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OF 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
3. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
4. WASTE MATERIALS SHALL NOT BE DISCHARGED TO THE WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
6. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
7. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14-DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

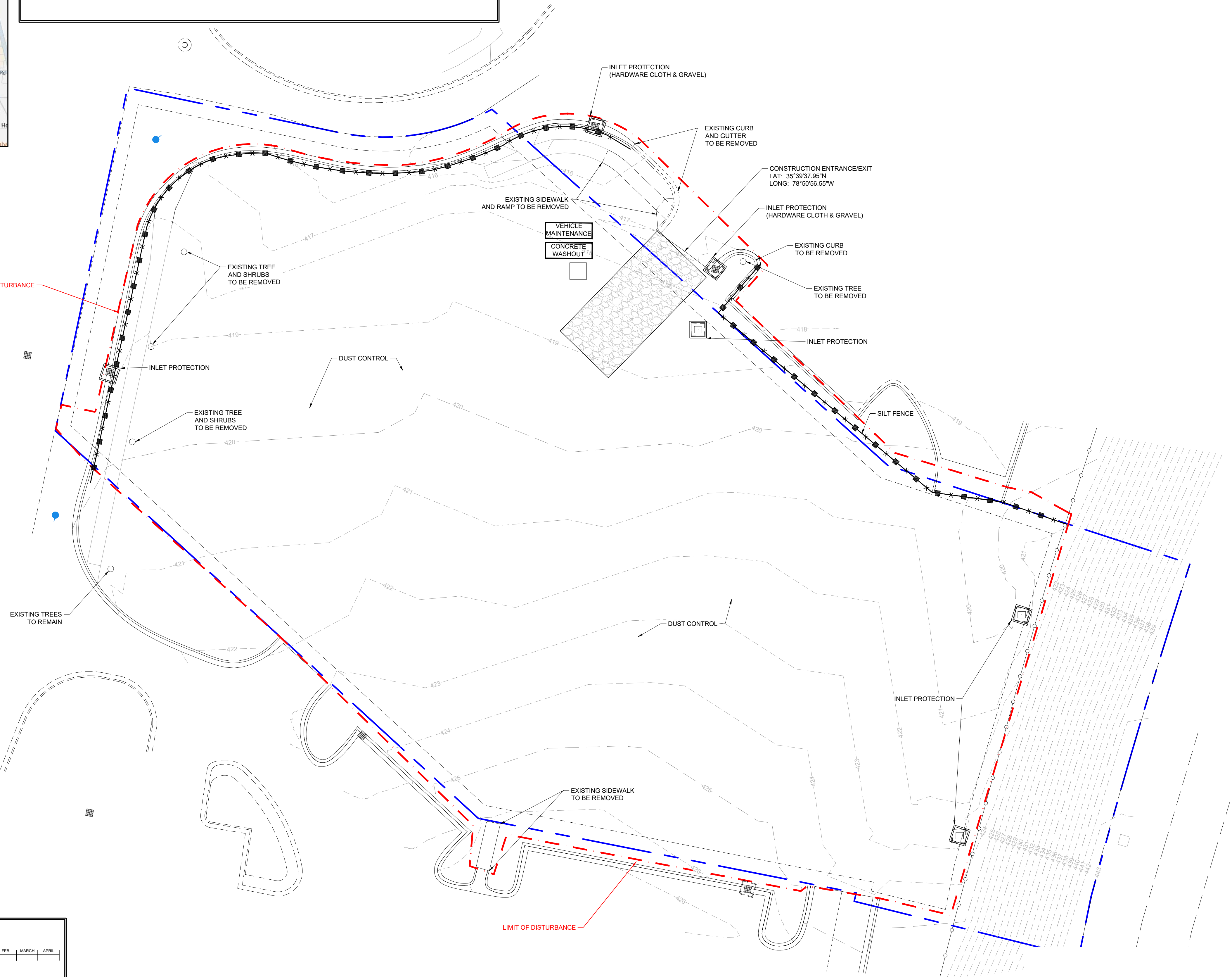


**N.P.D.E.S. PRIMARY PERMITTEE**

JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451  
EMAIL: MLINNABARY@JIMNICKS.COM  
24-HR. CONTACT: PERRY JONES  
24-HR. PHONE: (214)-478-0370

ALL BUFFERS AND TREE SAVE AREAS TO BE CLEARLY IDENTIFIED WITH PROTECTIVE FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

THIS SHEET IS FOR EROSION AND SEDIMENT CONTROL ONLY AND SHALL NOT BE USED FOR GRADING AND/OR SITE LAYOUT PURPOSES.



**OVERALL PHASE-I  
EROSION CONTROL PLAN**

GRAPHIC SCALE  
SCALE: 1" = 20'

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

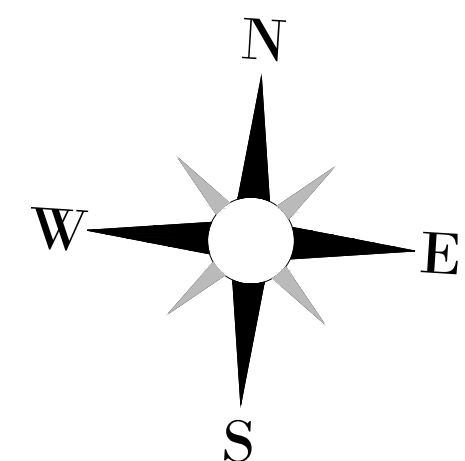
DRAWN BY: AAA  
CHECKED BY: SCA  
DATE: 07-08-2025  
SHEET TITLE: PHASE-I EROSION CONTROL PLAN  
SHEET NUMBER: C-4.0



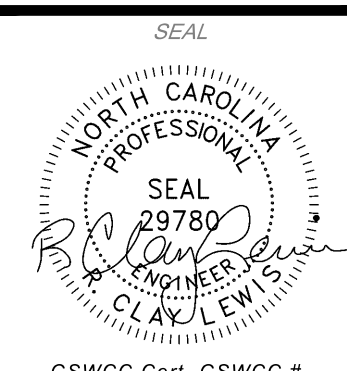
LOCATION MAP

**EROSION CONTROL MEASURES - PHASE II**  
 COMMENCE WITH MASS GRADING ACTIVITIES THROUGHOUT THE SITE.  
 • APPLY TEMPORARY/PERMANENT SEEDING, GA. D.O.T. APPROVED SOPE STABILIZATION & SEEDING MEASURES ON ALL SLOPES ≥ 3H:1V, AND/OR MULCH TO STABILIZE ALL DISTURBED AREAS.  
 • COMMENCE WITH STORM SEWER SYSTEM INSTALLATION AND INSTALL INLET PROTECTION MEASURES ON A ALL NEW STORM SEWER INLETS AND OUTLET PROTECTION MEASURES AT THE ENDS OF ALL EXPOSED STORM PIPE.  
 • IMPLEMENT AND MAINTAIN DUST CONTROL MEASURES THROUGHOUT CONSTRUCTION  
 • INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE IMPLEMENTED BMP'S MAINTENANCE REQUIREMENTS AND IN ACCORDANCE WITH THE GENERAL PERMIT.

1. Developer: JIM 'N NICK'S BAR-B-QUE  
 120 19TH STREET NORTH, SUITE 200-2508  
 BIRMINGHAM, AL 35203  
 CONTACT: MITCH LINNABARY  
 PHONE: (404)-414-5451  
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 PHONE: 770-491-7550



**HGA**  
 HAINES GIPSON & ASSOCIATES  
 Civil - Structural - Bridge



A PROJECT OF:  
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 COMMUNITY  
**BAR-B-Q**

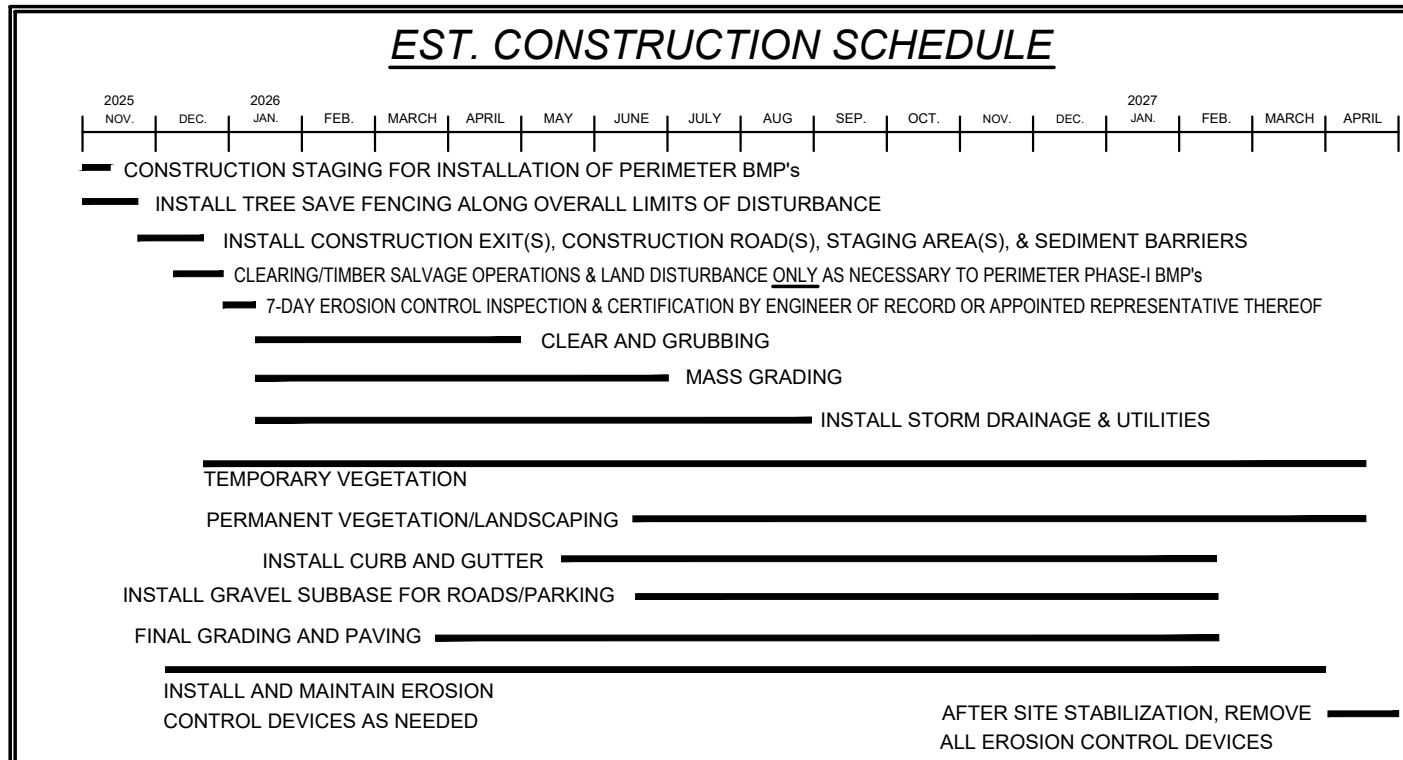
**HOLLY SPRINGS**  
**JIM 'N NICKS**  
 115 GRAND HILLS PLACE  
 HOLLY SPRINGS, NC 27540

**BUILDING MATERIALS COVERAGE**

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**EROSION & SEDIMENT CONTROL NOTES:**

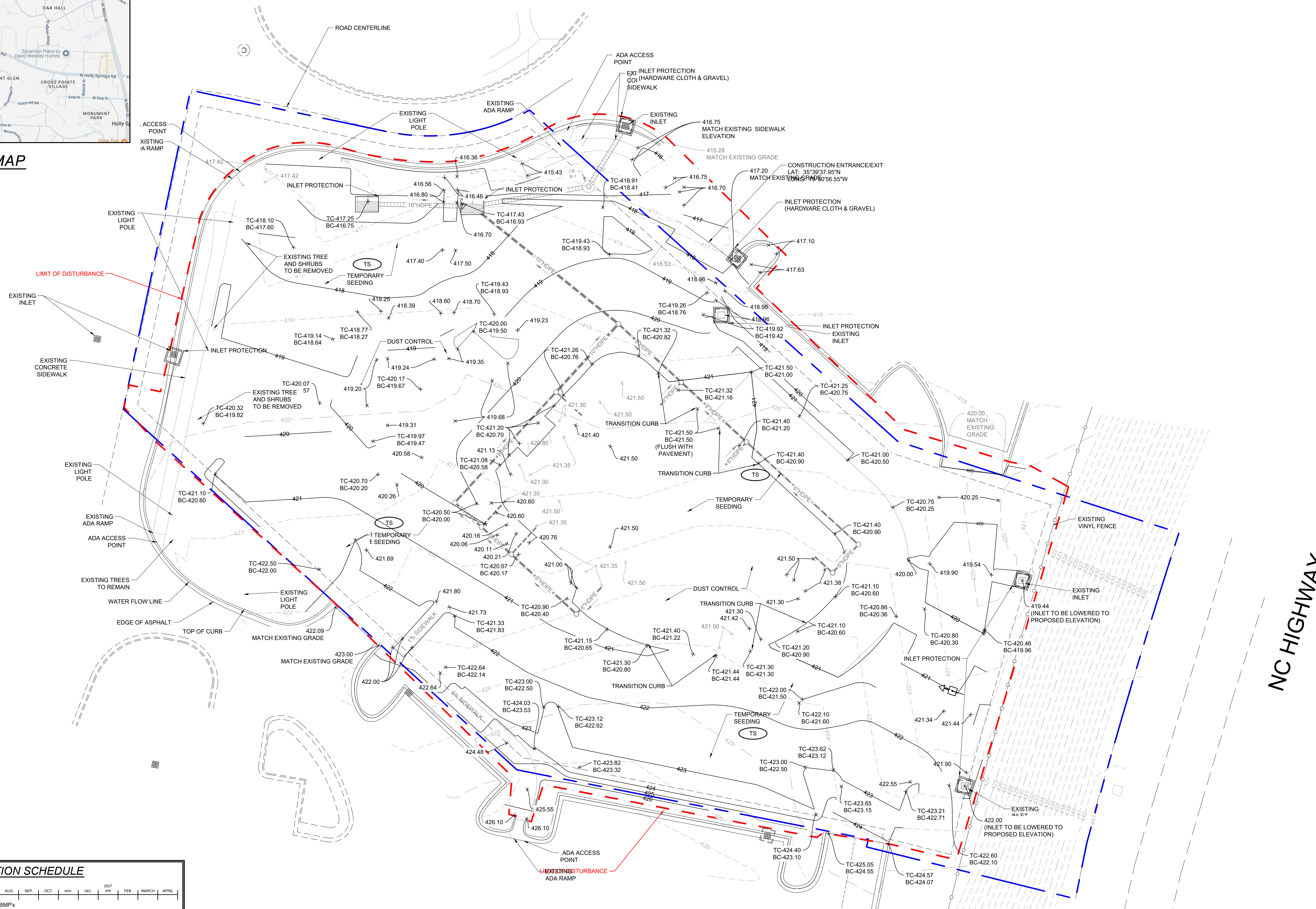
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- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
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- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14-DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.



**N.P.D.E.S. PRIMARY PERMITTEE**  
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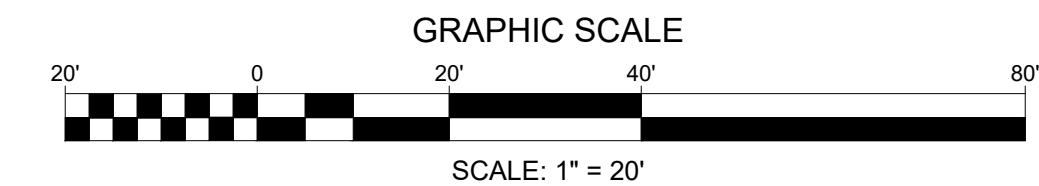
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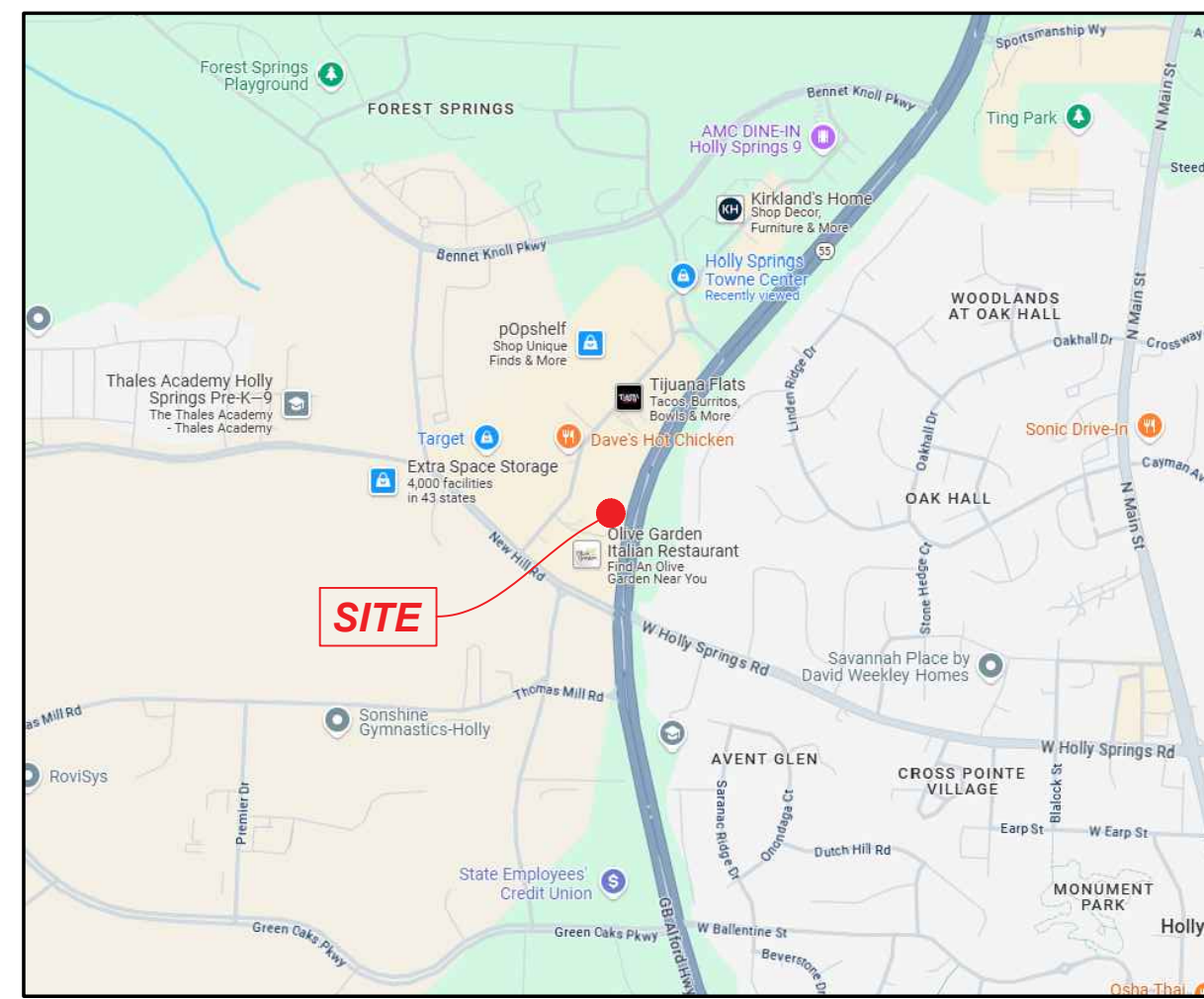
NC HIGHWAY - 55

**OVERALL PHASE-II  
 EROSION CONTROL PLAN**



NO.	BY	DATE	DESCRIPTION
AAA	AAA	10-02-25	CITY COMMENTS
AAA	AAA	10-31-25	CITY COMMENTS

DRAWN BY: AAA  
 CHECKED BY: SCA  
 DATE: 07-08-2025  
 SHEET TITLE: PHASE-II EROSION CONTROL PLAN  
 SHEET NUMBER: C-5.0



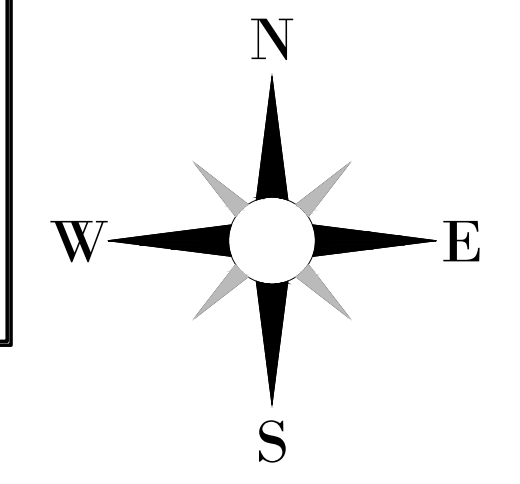
LOCATION MAP

**EROSION CONTROL MEASURES - PHASE III**

- FINALIZE PAVEMENT SUBGRADE PREPARATION
- CONSTRUCT ALL CURB & GUTTER AND INLETS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
- REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48-HOURS PRIOR TO PLACING STABILIZED BASE COURSE. INLET PROTECTION IS TO REMAIN AT ALL INLETS UNTIL CONTRIBUTING AREA ACHIEVES FINAL STABILIZATION AND/OR ALL POTENTIAL POLLUTANT SOURCES HAVE BEEN ELIMINATED.
- INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT
- REMOVE TEMPORARY CONSTRUCTION EXIT ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THIS AREA (THIS AREA TO BE PAVED LAST)
- INSTALL POROUS ASPHALT PAVING & PROTECT FROM RUNOFF FROM CONTRIBUTING UN-STABILIZED AREAS.
- CARRY OUT FINAL GRADING AND FINAL SEEDING, HYDRO-SEEDING, SODDING, AND THOSE ITEMS VEGETATIVE ITEMS SPECIFIED ON THE LANDSCAPE PLAN.
- INSPECTIONS, MAINTENANCE, RECORD KEEPING, ETC. SHALL CONTINUE UNTIL FINAL SITE STABILIZATION HAS BEEN ACHIEVED, AS DETERMINED BY THE ENGINEER OF RECORD.
- CONCURRENTLY WITH FINAL SEEDING/LANDSCAPING, REMOVE ALL SURFACE WATER SKIMMERS & INSTALL PERMANENT WATER QUALITY FILTER DRAIN SYSTEMS.
- CLEAN OR REFRESH ALL RIP-RAP APRONS AT THE STORM SEWER OUTFALL POINT(S) WITHIN THE PERMANENT PONDS.
- UPON COMPLETION SITEWORK CONSTRUCTION AND ACHIEVEMENT OF FINAL SITE STABILIZATION
  - NOTIFY ENGINEER OF RECORD THAT FINAL STABILIZATION HAS BEEN ACHIEVED. ENGINEER OF RECORD SHALL CONDUCT AN INSPECTION AND ISSUE REPORT OF FINDINGS PRIOR TO FILING THE NOTICE OF TERMINATION.
  - INSPECT AND CLEAN THE STORM DRAIN SYSTEM.
  - REMOVE IN-FLOW BARRIERS FROM UNDERGROUND INFILTRATIONS SYSTEMS AND POROUS ASPHALT TO PLACE THESE BMPs INTO OPERATION.
  - REMOVE SILT FENCE ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.

1. Developer: JIM 'N NICK'S BAR-B-QUE  
120 19TH STREET NORTH, SUITE 200-2508  
BIRMINGHAM, AL 35203  
CONTACT: MITCH LINNABARY  
PHONE: (404)-414-5451

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PHONE: 770-491-7550



**HGA**  
HAINES GIPSON & ASSOCIATES  
Civil - Structural - Bridge

SEAL  
NORTH CAROLINA PROFESSIONAL ENGINEER  
SEAL 29780  
CLAY LEWIS  
GSWCC Cert. GSWCC #

A PROJECT OF:  
**JIM 'N NICK'S**  
COMMUNITY  
**BAR-B-Q**

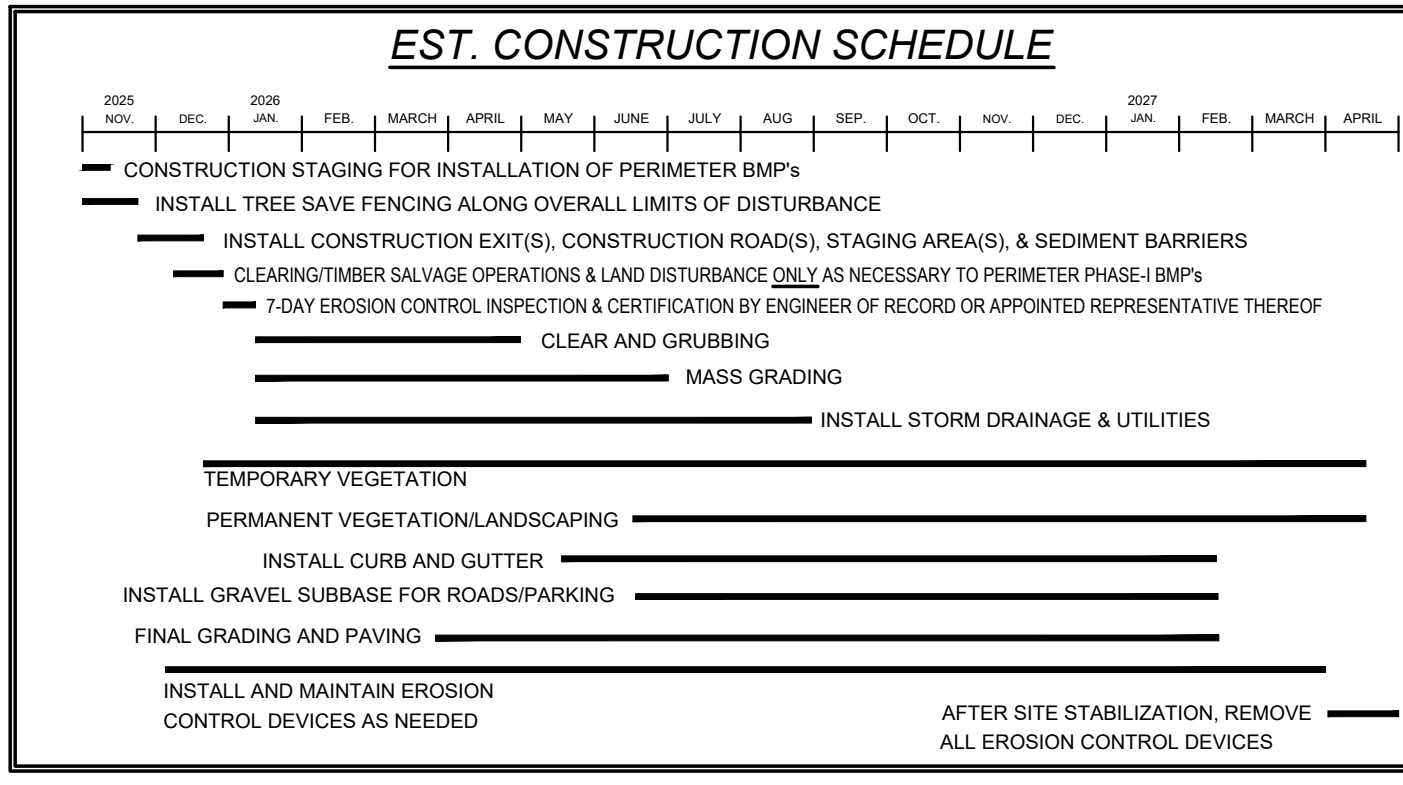
**HOLLY SPRINGS**  
**JIM 'N NICKS**  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

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**EROSION & SEDIMENT CONTROL NOTES:**

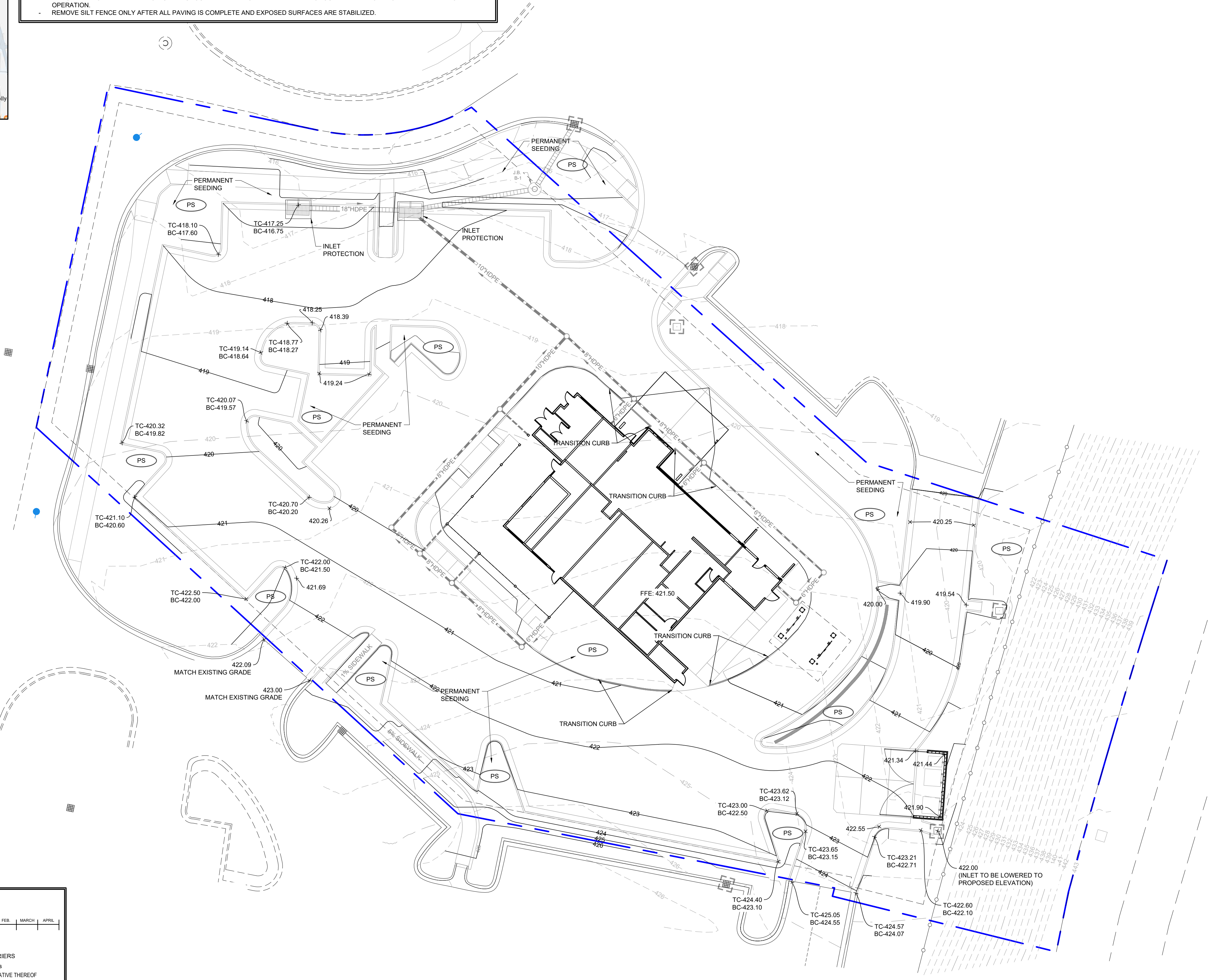
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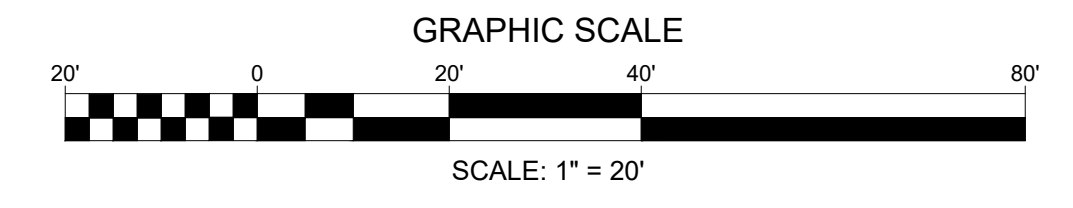
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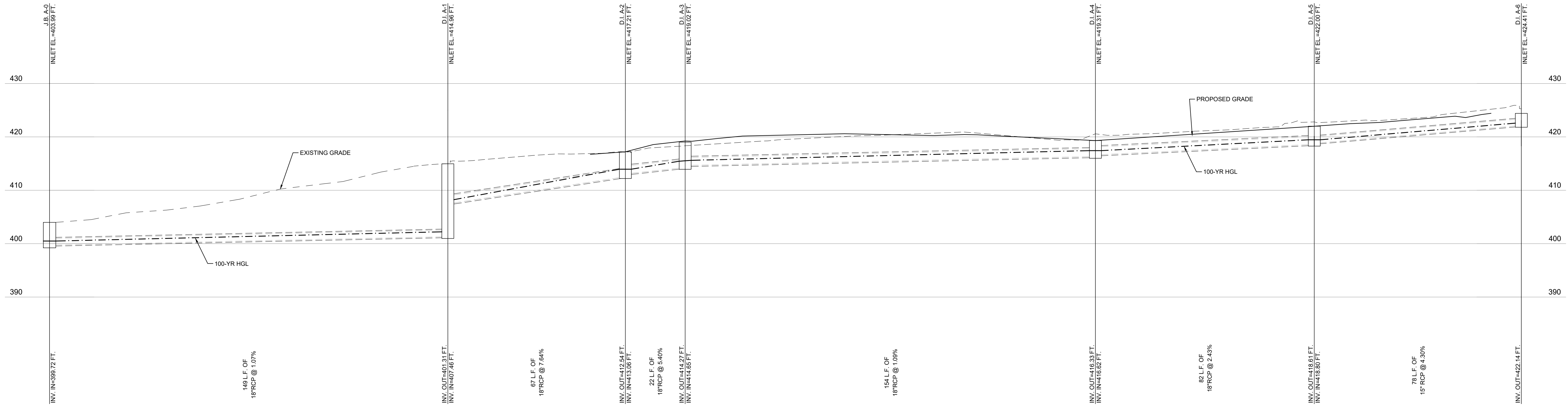
NC HIGHWAY - 55

**OVERALL PHASE-III  
EROSION CONTROL PLAN**

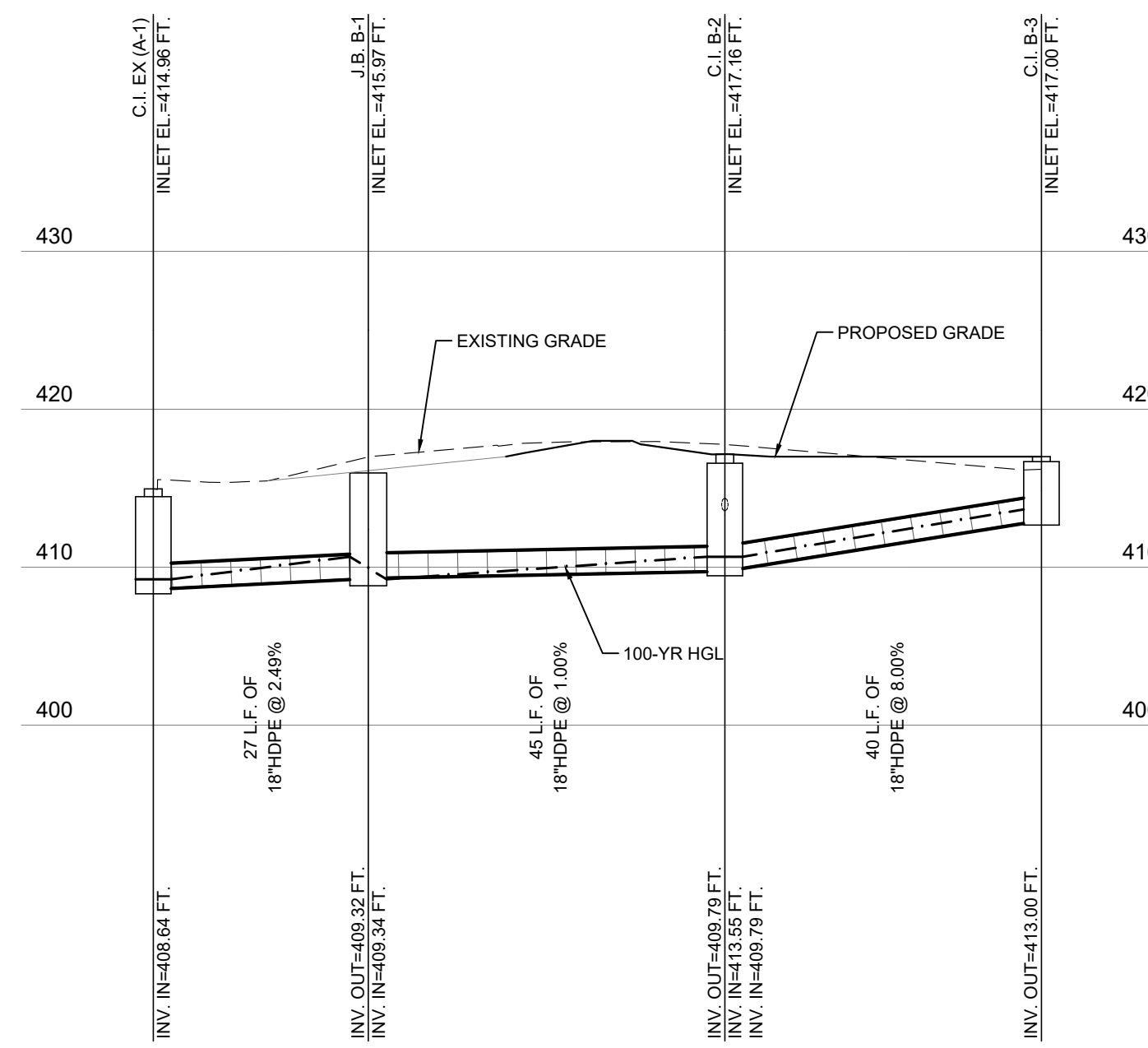


NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY: AAA  
CHECKED BY: SCA  
DATE: 07-08-2025  
SHEET TITLE: PHASE-III EROSION CONTROL PLAN  
SHEET NUMBER: C-6.0



**EXISTING STORM LINE**  
 Horizontal Scale: 1"=20'  
 Vertical Scale: 1"=10'



**STORM LINE 1**  
 Horizontal Scale: 1"=20'  
 Vertical Scale: 1"=10'

LEGEND	
25-YR. HGL	-----
FINISHED GRADE	—————
EXISTING GRADE	- - - - -

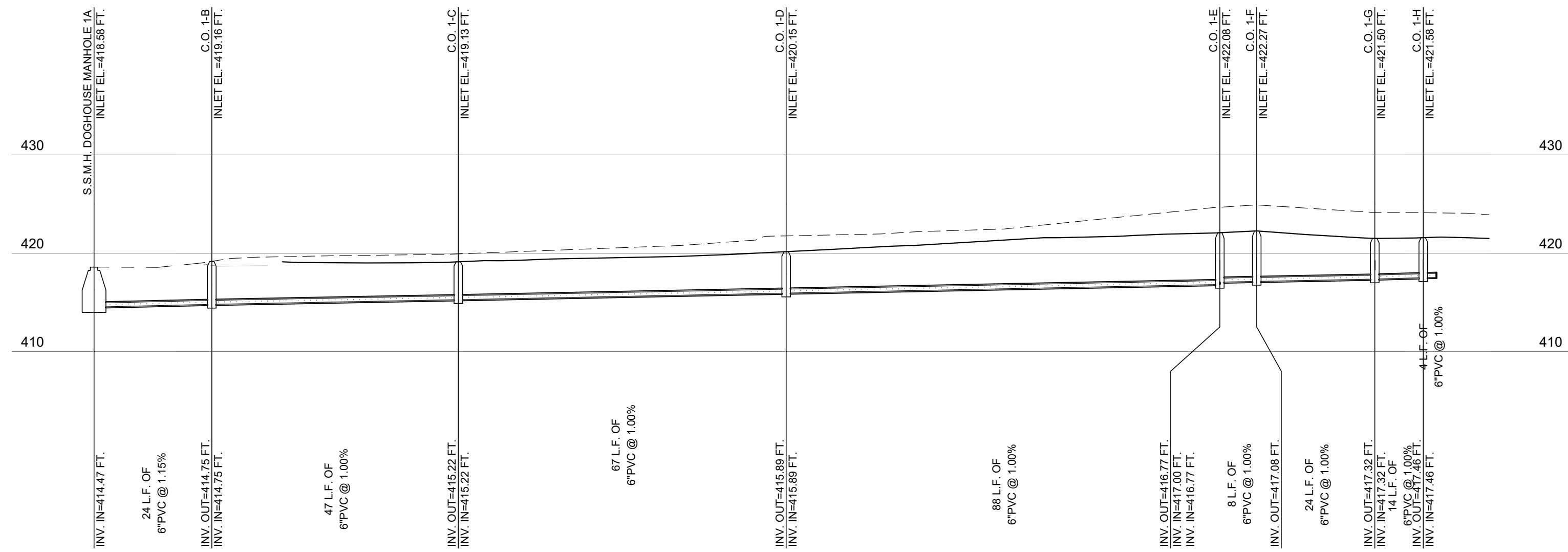
NO.	BY	DATE	DESCRIPTION
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AAA	AAA	10-31-25	CITY COMMENTS

DRAWN BY AAA	CHECKED BY SCA
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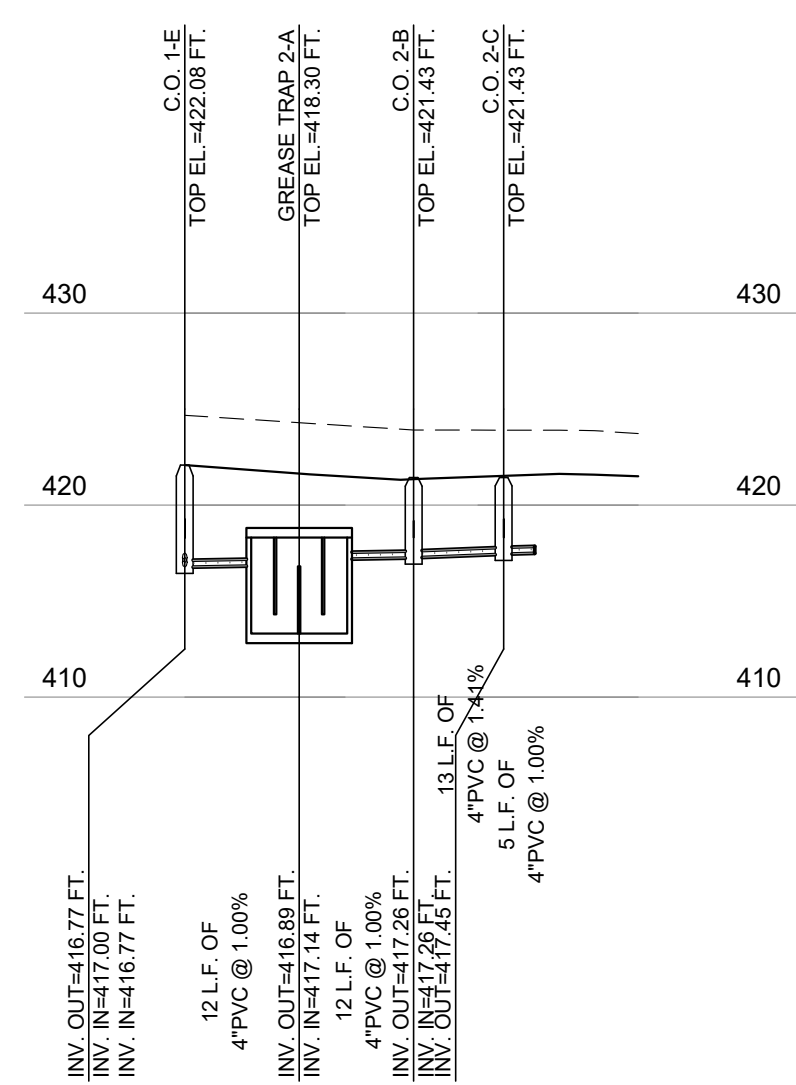
DATE  
07-08-2025

SHEET TITLE  
STORM SEWER PIPE PROFILES

SHEET NUMBER  
**C-7.0**



**SEWER LINE 1**  
 Horizontal Scale: 1"=20'  
 Vertical Scale: 1"=10'

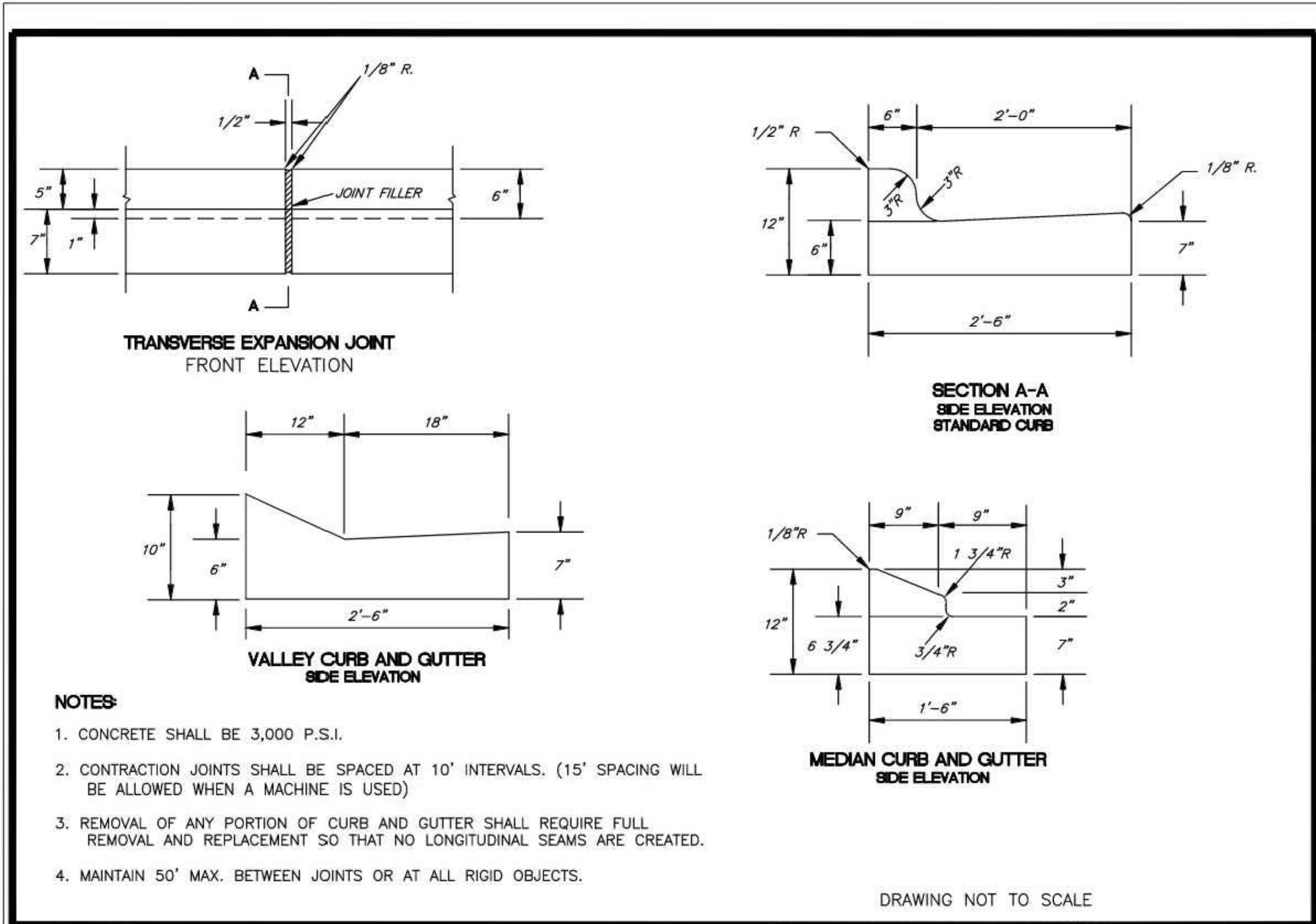


**SEWER LINE 2**  
 Horizontal Scale: 1"=20'  
 Vertical Scale: 1"=10'

LEGEND	
FINISHED GRADE	—————
EXISTING GRADE	- - - - -

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY AAA	CHECKED BY SCA
DATE 07-08-2025	
SHEET TITLE SANITARY SEWER PIPE PROFILES	
SHEET NUMBER <b>C-8.0</b>	

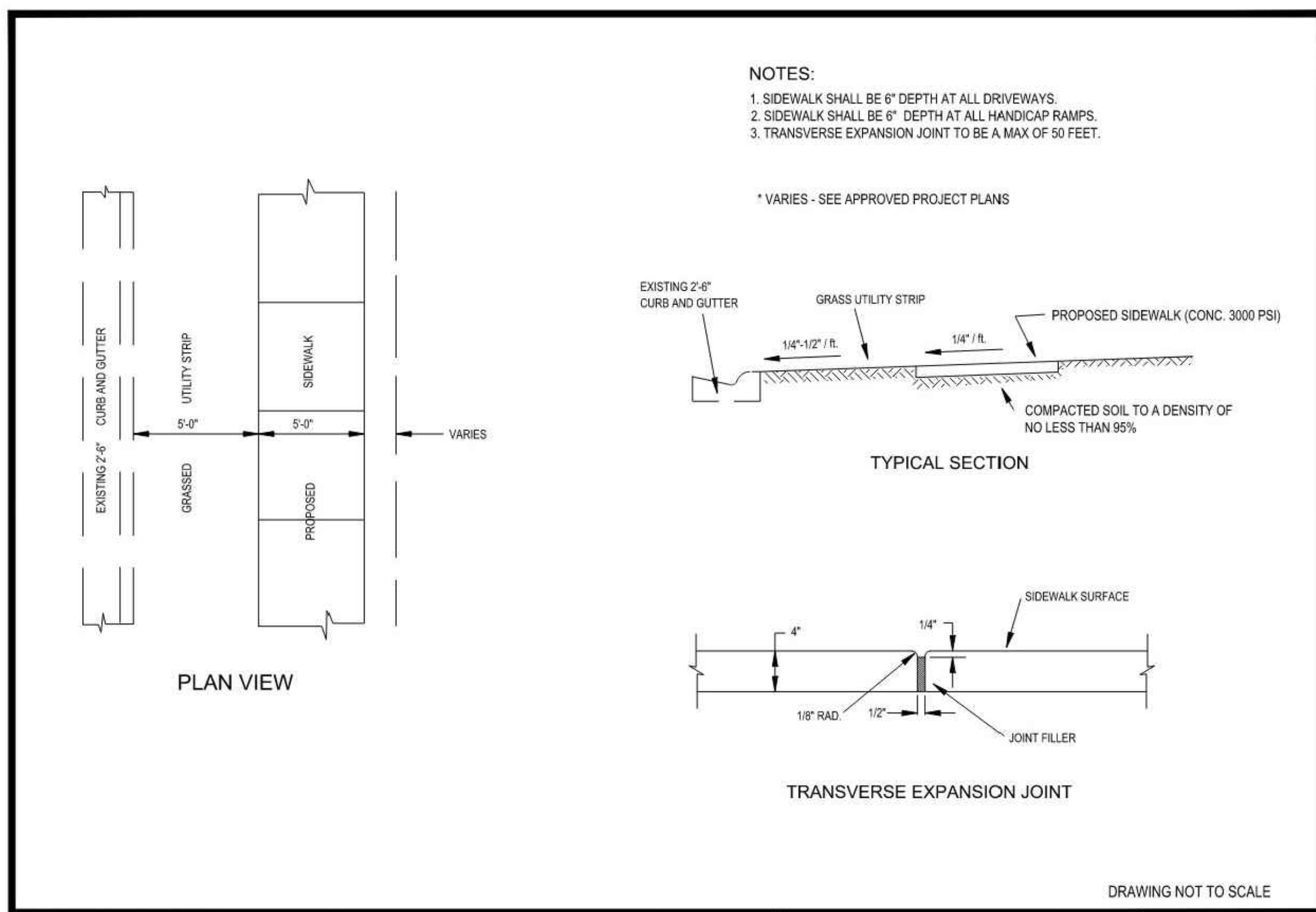


- NOTES:**
1. CONCRETE SHALL BE 3,000 P.S.I.
  2. CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS. (15' SPACING WILL BE ALLOWED WHEN A MACHINE IS USED)
  3. REMOVAL OF ANY PORTION OF CURB AND GUTTER SHALL REQUIRE FULL REMOVAL AND REPLACEMENT SO THAT NO LONGITUDINAL SEAMS ARE CREATED.
  4. MAINTAIN 50' MAX. BETWEEN JOINTS OR AT ALL RIGID OBJECTS.

DRAWING NOT TO SCALE

**STANDARD CONCRETE CURB AND GUTTER**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS321	
DATE	REVISIONS
2/8/10	



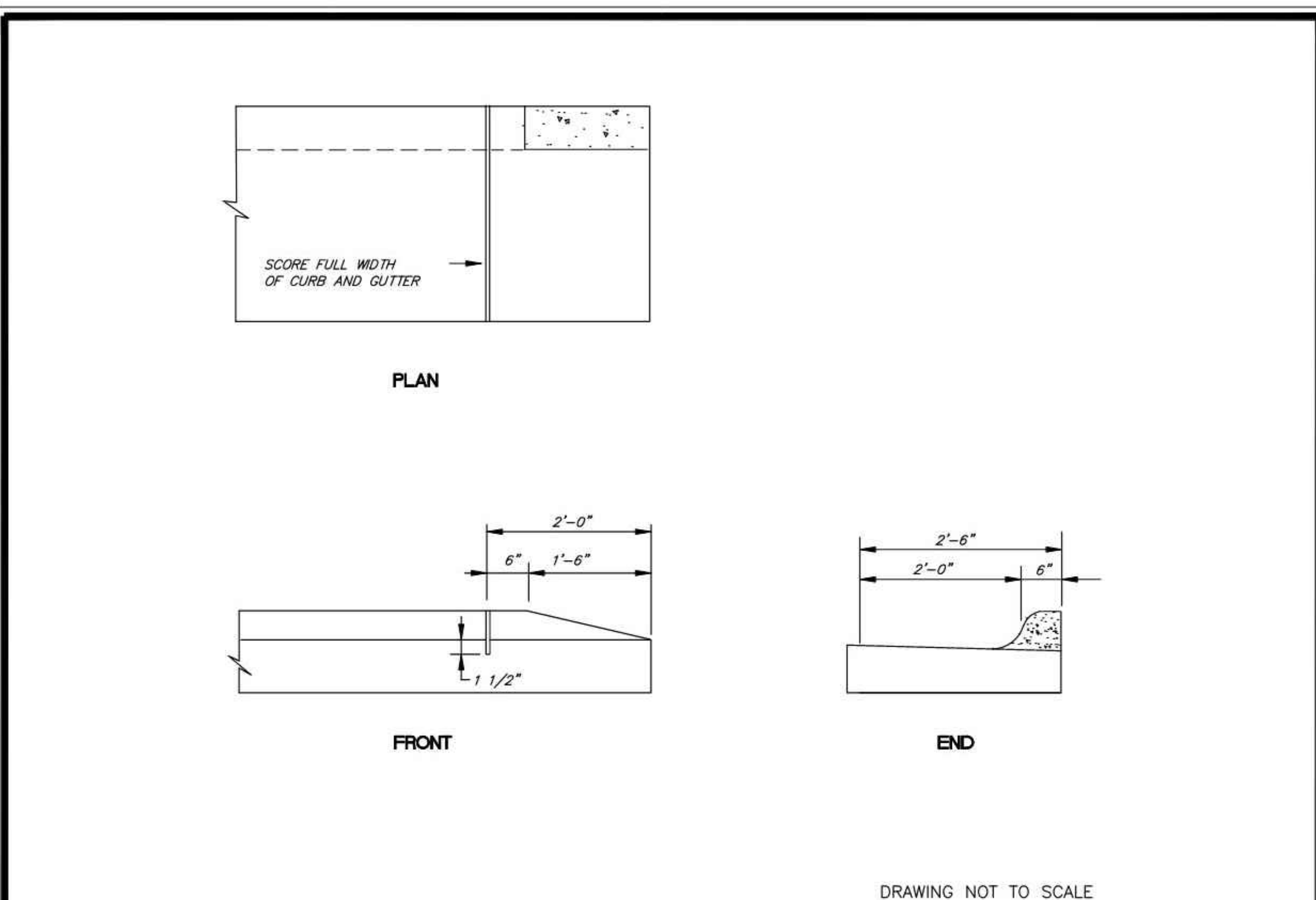
- NOTES:**
1. SIDEWALK SHALL BE 6" DEPTH AT ALL DRIVEWAYS.
  2. SIDEWALK SHALL BE 6" DEPTH AT ALL HANDICAP RAMPS.
  3. TRANSVERSE EXPANSION JOINT TO BE A MAX OF 50 FEET.

\* VARIES - SEE APPROVED PROJECT PLANS

DRAWING NOT TO SCALE

**STANDARD CONCRETE SIDEWALK**  
TOWN OF HOLLY SPRINGS

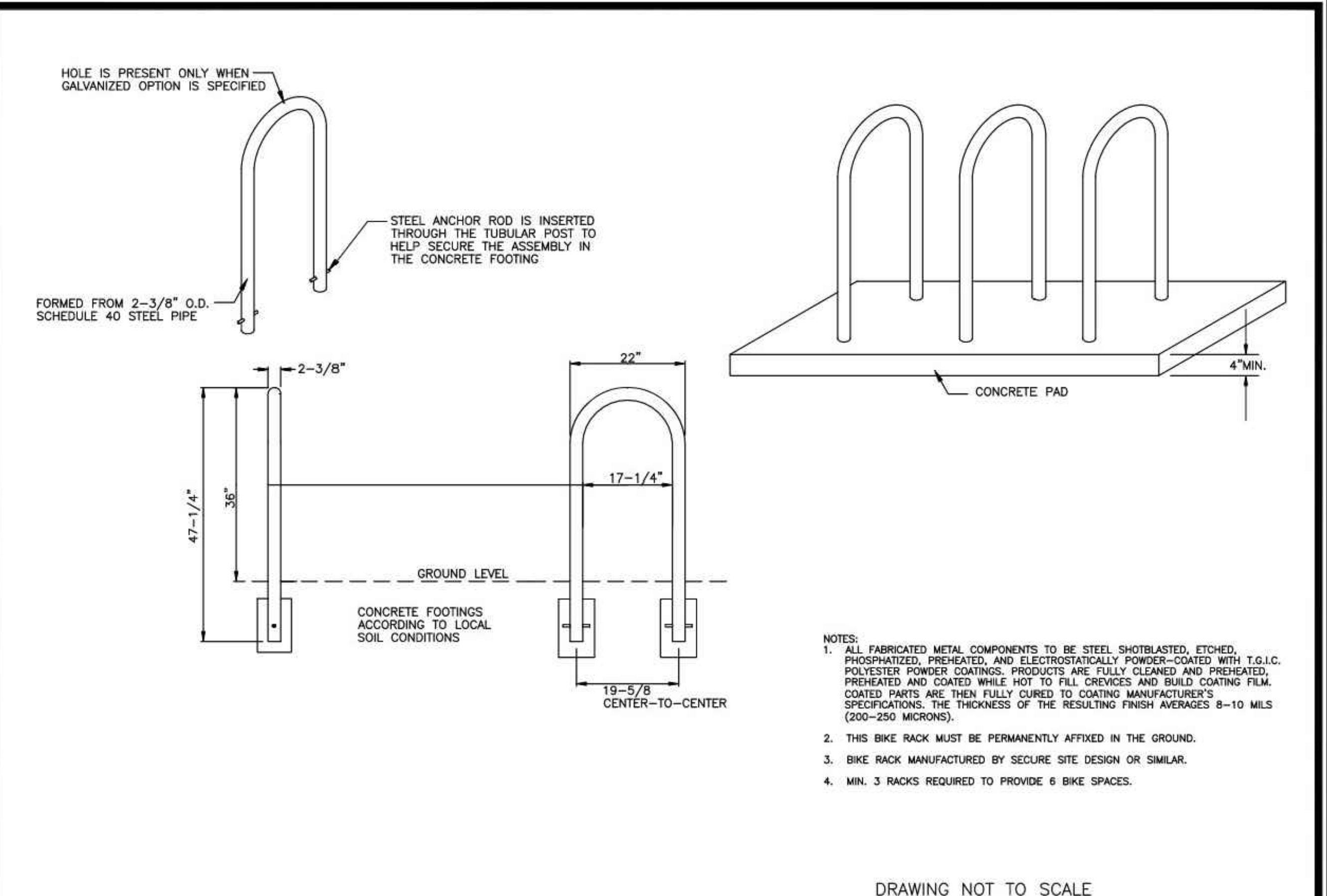
STANDARD DETAIL NUMBER: HS327	
DATE	REVISIONS
12/19/23	



DRAWING NOT TO SCALE

**STANDARD METHOD OF ENDING CURB AND GUTTER**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS323	
DATE	REVISIONS
2/8/10	



- NOTES:**
1. ALL FABRICATED METAL COMPONENTS TO BE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
  2. THIS BIKE RACK MUST BE PERMANENTLY AFFIXED IN THE GROUND.
  3. BIKE RACK MANUFACTURED BY SECURE SITE DESIGN OR SIMILAR.
  4. MIN. 3 RACKS REQUIRED TO PROVIDE 6 BIKE SPACES.

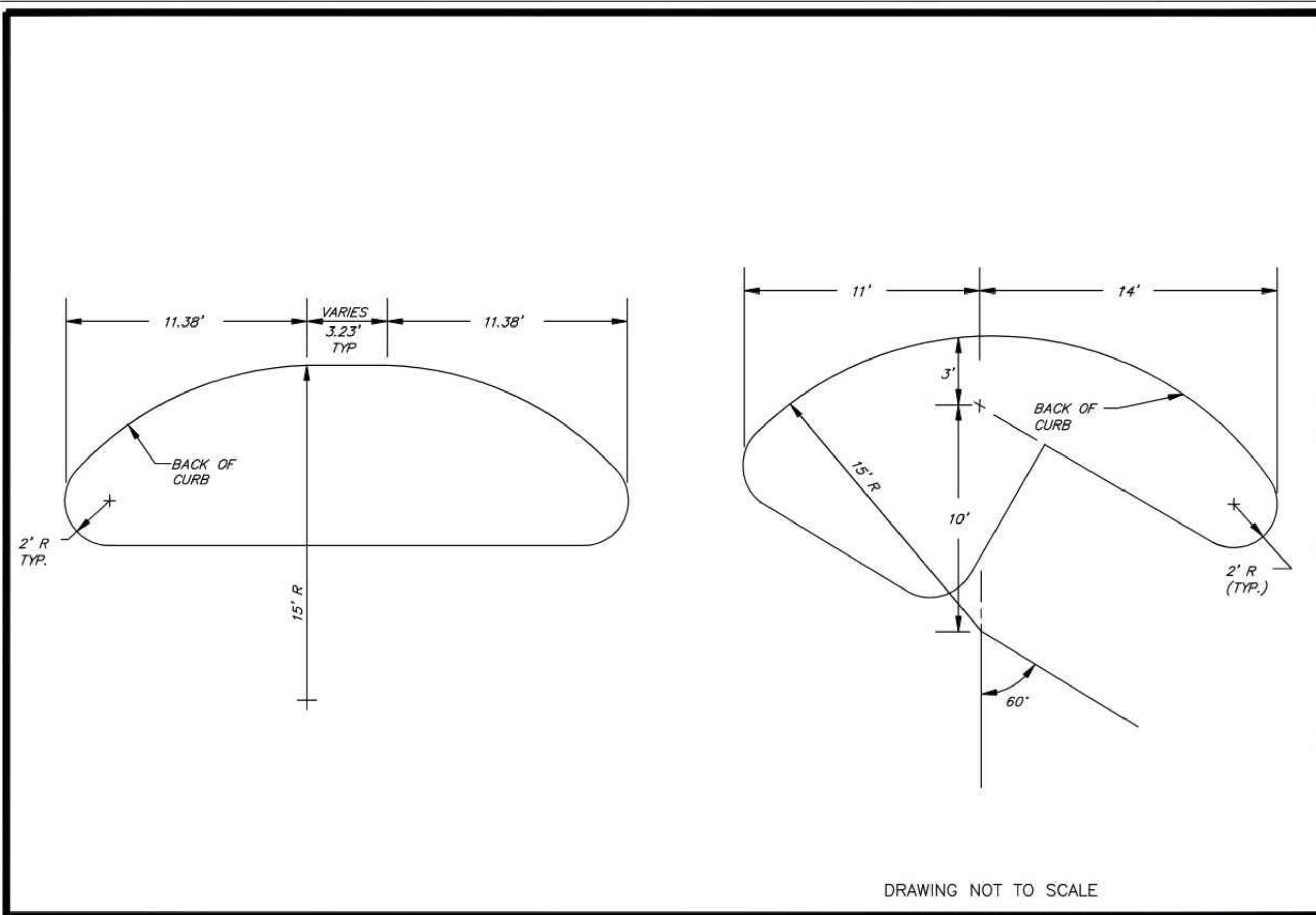
DRAWING NOT TO SCALE

**STANDARD IN-GROUND MOUNT BIKE RACK**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS007	
DATE	REVISIONS
8/27/18	

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY	CHECKED BY
AAA	SCA
DATE	
07-08-2025	
SHEET TITLE	
SITWORK CONSTRUCTION DETAILS	
SHEET NUMBER	



DRAWING NOT TO SCALE

**END ISLANDS FOR PARKING LOTS**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS344	
DATE	REVISIONS
8/30/19	

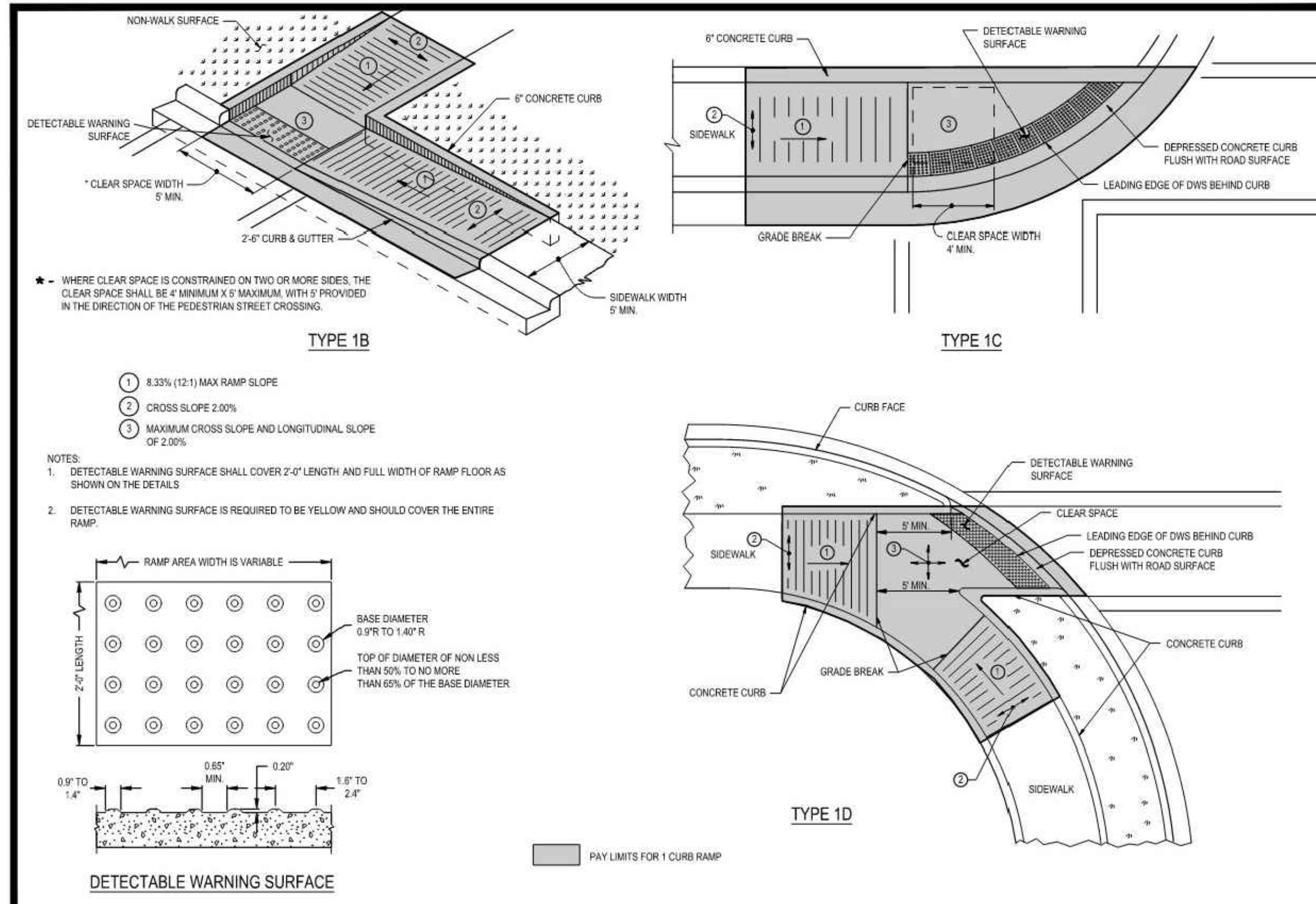


NOTES:

- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
- LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN UN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT TO LOCATE AS DIRECTED BY THE ENGINEER.
- COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4' x 4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
- SET BACK DISTANCE FROM INSIDE OF CROSSWALK MARKING TO THE NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
- REFER TO PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
- TERMINATE PARKING A MINIMUM OF 20' FROM THE BACK OF PEDESTRIAN CROSSWALK.
- CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
- CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
- ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
- CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
- CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
- CONSTRUCT CLEAR SPACES FOR SIDEWALK A MINIMUM OF 4' x 4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT CLEAR SPACES FOR MEDIAN ISLANDS A MINIMUM OF 5' x 5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. IF CONSTRAINED ON TWO OR MORE SIDES, THE CLEAR SPACE SHALL BE 4' MINIMUM X 5' MINIMUM, WITH 5' PROVIDED IN THE DIRECTION OF THE PEDESTRIAN STREET CROSSING.
- TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
- SMALL CHANNELIZATION ISLANDS THAT CANNOT PROVIDE A 5x5' CLEAR SPACE AT THE TOP OF RAMPS, WILL BE CUT THOUGH LEVEL WITH THE SURFACE STREET.
- CURB RAMPS WITH RETURNED CURBS MAY BE SUED ONLY WHERE PEDESTRIAN WOULD NOT NORMALLY WALK ACROSS THE RAMP, WHERE THE ADJACENT SURFACE IS PLATING OR OTHER NON-WALKING SURFACE, OR THE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
- PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE RAMP JOINS THE CURB RAMP AS SHOWN IN ROADWAY STANDARD DRAWING 848.01.
- PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
- DETECTABLE WARNING SURFACES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
- DETECTABLE WARNING SURFACE IS REQUIRED TO BE YELLOW AND SHOULD COVER THE ENTIRE RAMP.

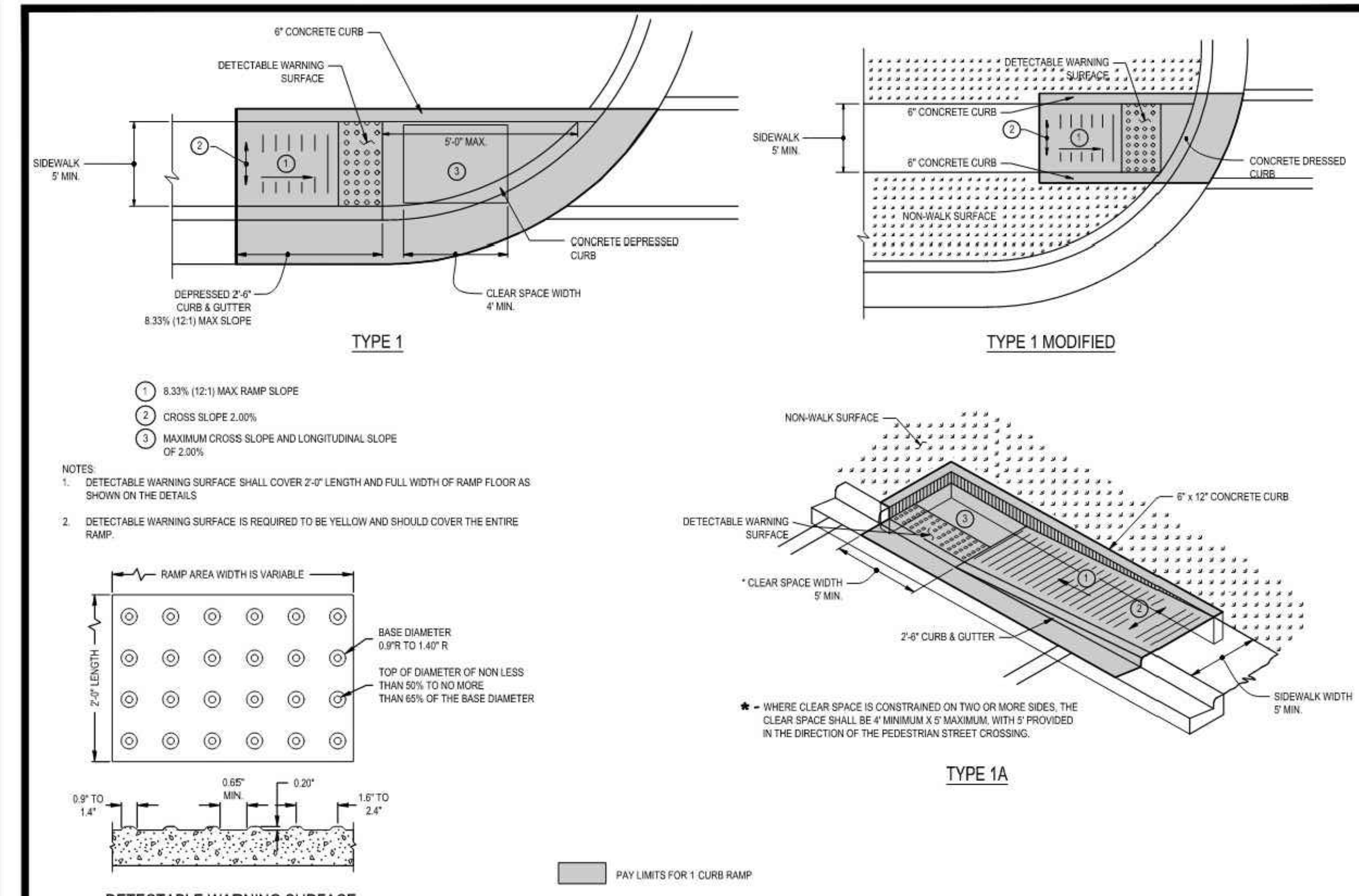
**CURB RAMP NOTES**  
TOWN OF HOLLY SPRINGS

STANDARD DETAIL NUMBER: HS396	
DATE	REVISIONS
12/19/23	



**DIRECTIONAL RAMP**  
TOWN OF HOLLY SPRINGS

STANDARD DETAIL NUMBER: HS390	
DATE	REVISIONS
12/19/23	



**DIRECTIONAL RAMP**  
TOWN OF HOLLY SPRINGS

STANDARD DETAIL NUMBER: HS389	
DATE	REVISIONS
12/19/23	



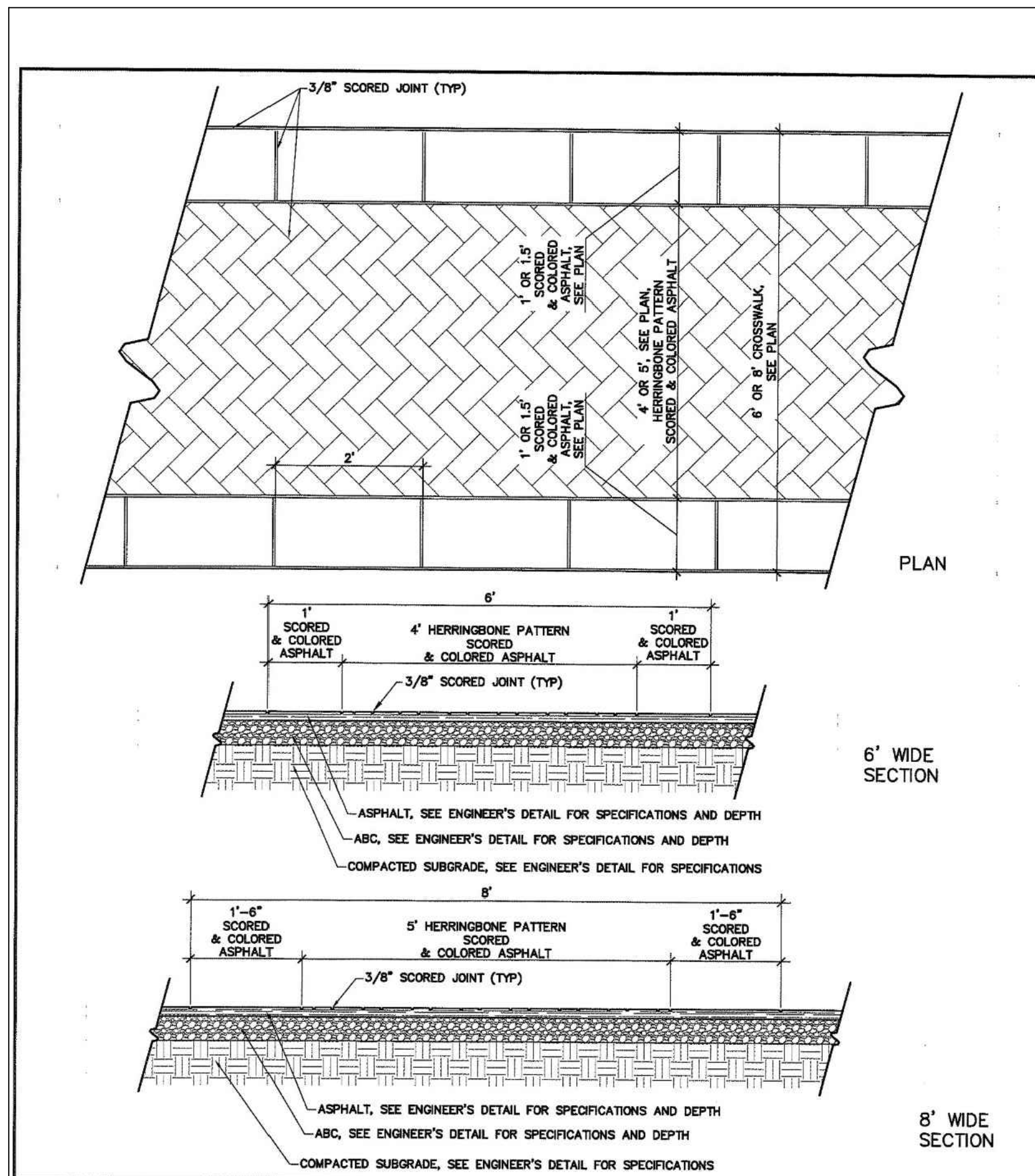
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AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY	CHECKED BY
AAA	SCA

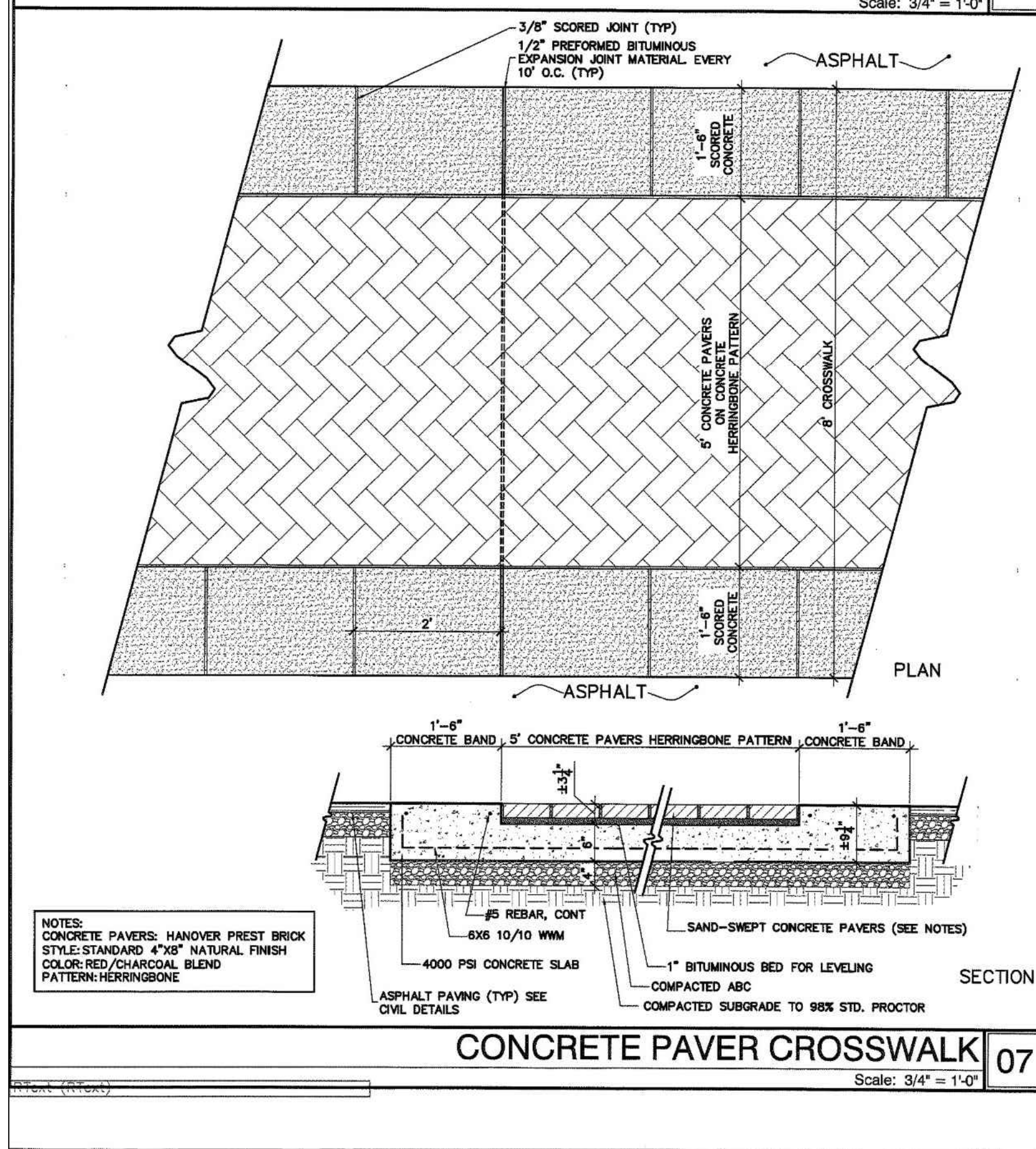
DATE  
07-08-2025  
SHEET TITLE  
SITEWORK  
CONSTRUCTION DETAILS

SHEET NUMBER  
**C-9.1**

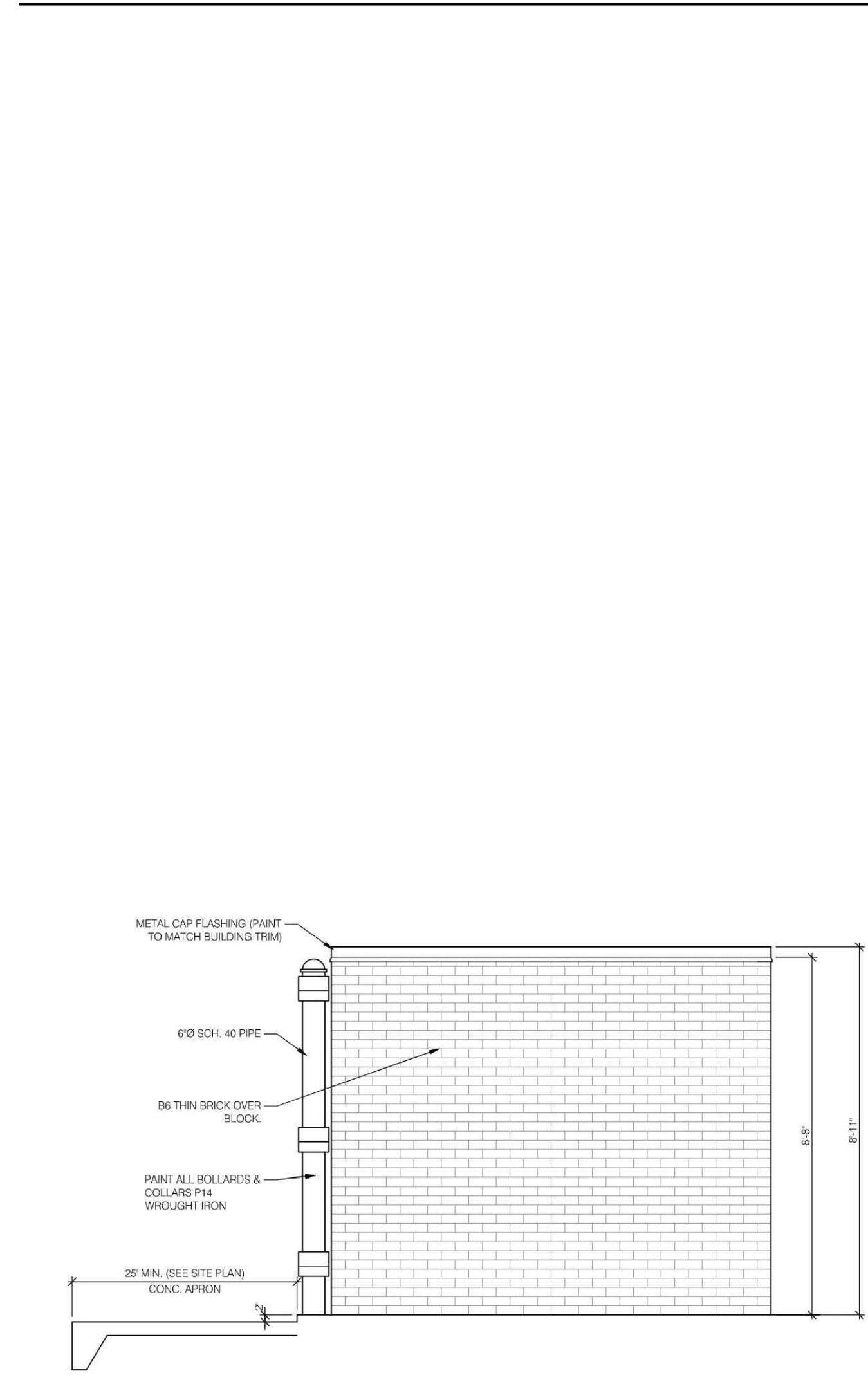




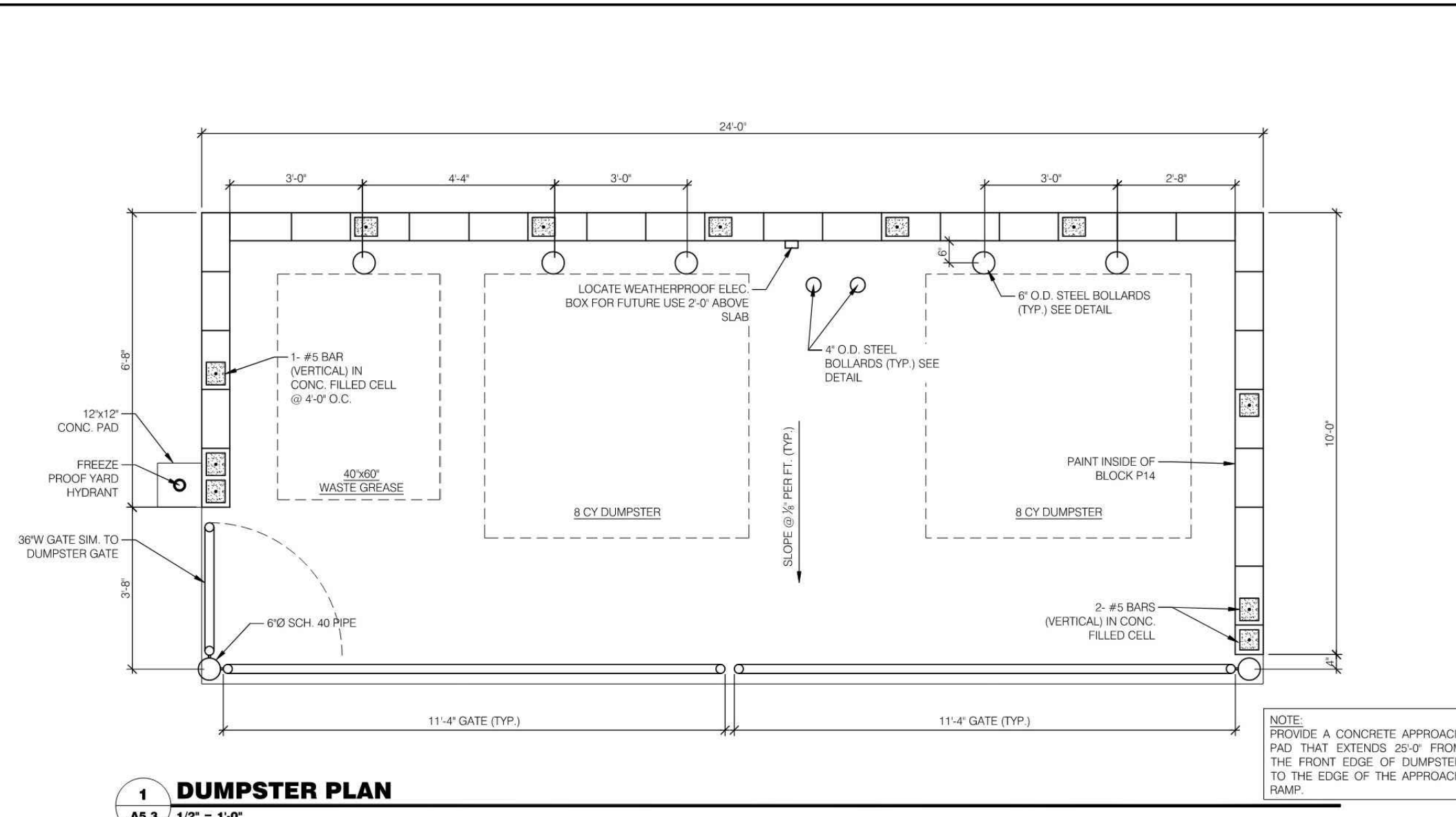
**STAMPED ASPHALT CROSSWALKS** 08  
Scale: 3/4" = 1'-0"



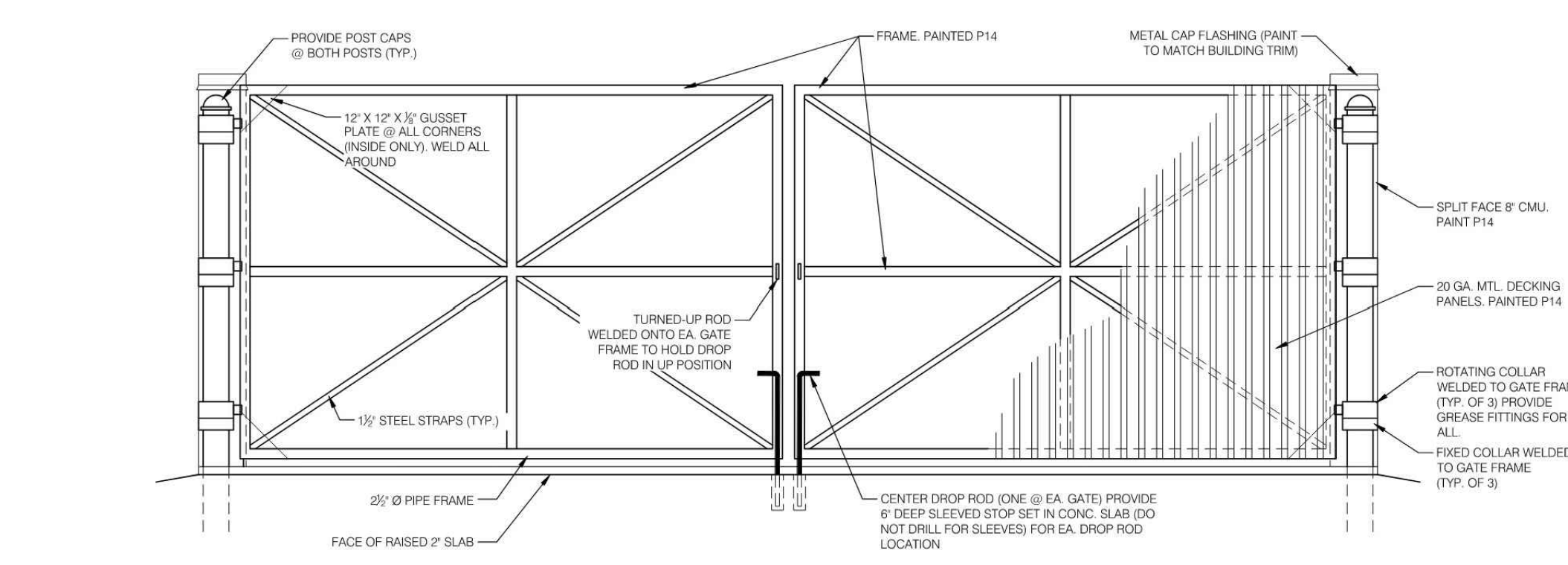
**CONCRETE PAVER CROSSWALK** 07  
Scale: 3/4" = 1'-0"



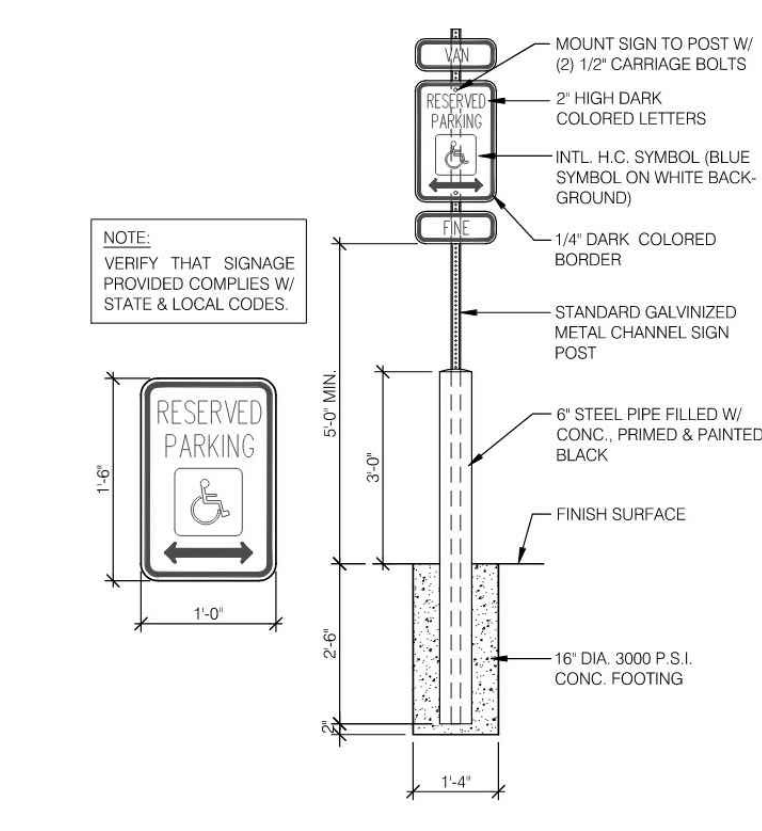
**3 DUMPSTER SIDE ELEVATION**  
A5.3 1/2" = 1'-0"



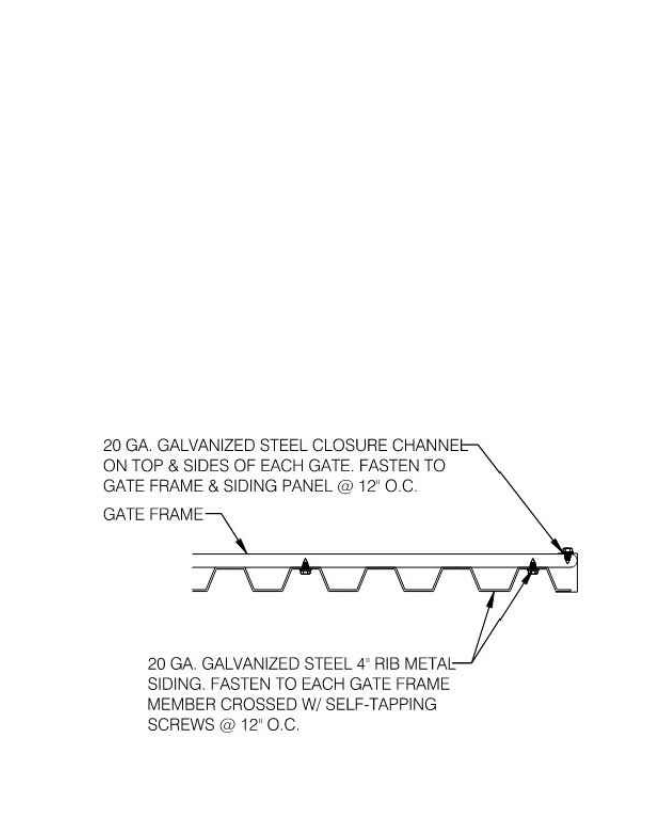
**1 DUMPSTER PLAN**  
A5.3 1/2" = 1'-0"



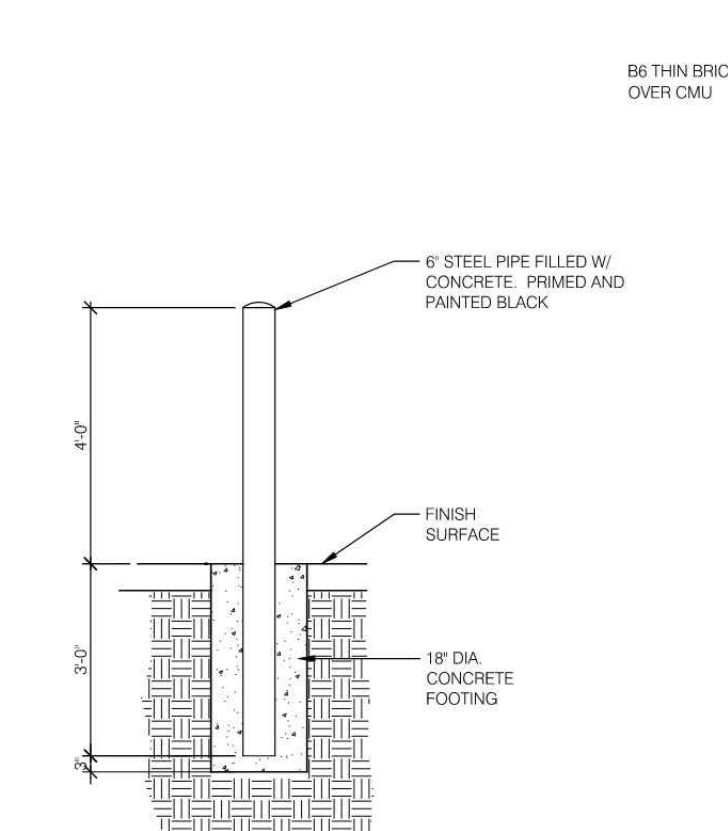
**2 DUMPSTER FRONT ELEVATION**  
A5.3 1/2" = 1'-0"



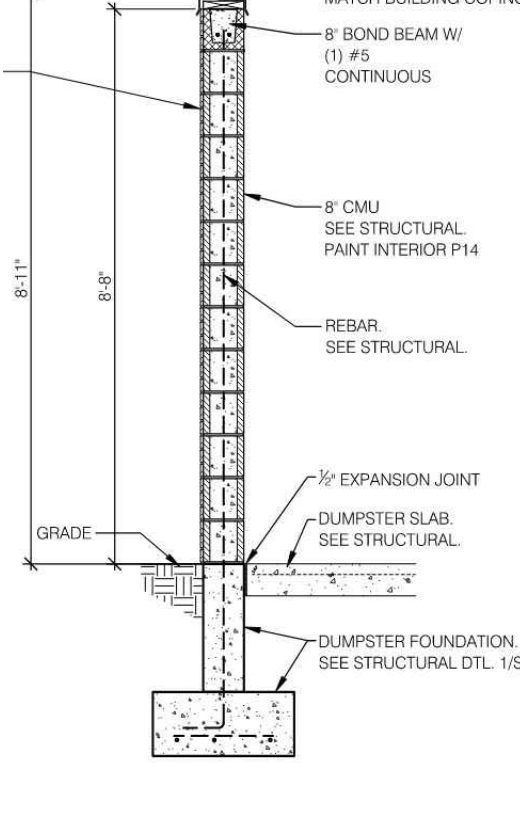
**7 ACCESSIBLE SIGN (IN BOLLARD)**  
A5.3 1/2" = 1'-0"



**6 GATE PANEL ATTACHMENT**  
A5.3 1/2" = 1'-0"



**5 BOLLARD DETAIL**  
A5.3 1/2" = 1'-0"



**4 SECTION @ DUMPSTER**  
A5.3 1/2" = 1'-0"

**JIM 'N NICKS**  
BAR-B-Q  
115 GRAND HILLS PL  
HOLLY SPRINGS, NC 27540

**LOUIE GENE SMITH**  
ARCHITECT  
10-27-25

**HOLLY SPRINGS**  
**JIM 'N NICKS**  
COMMUNITY  
BAR-B-Q  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

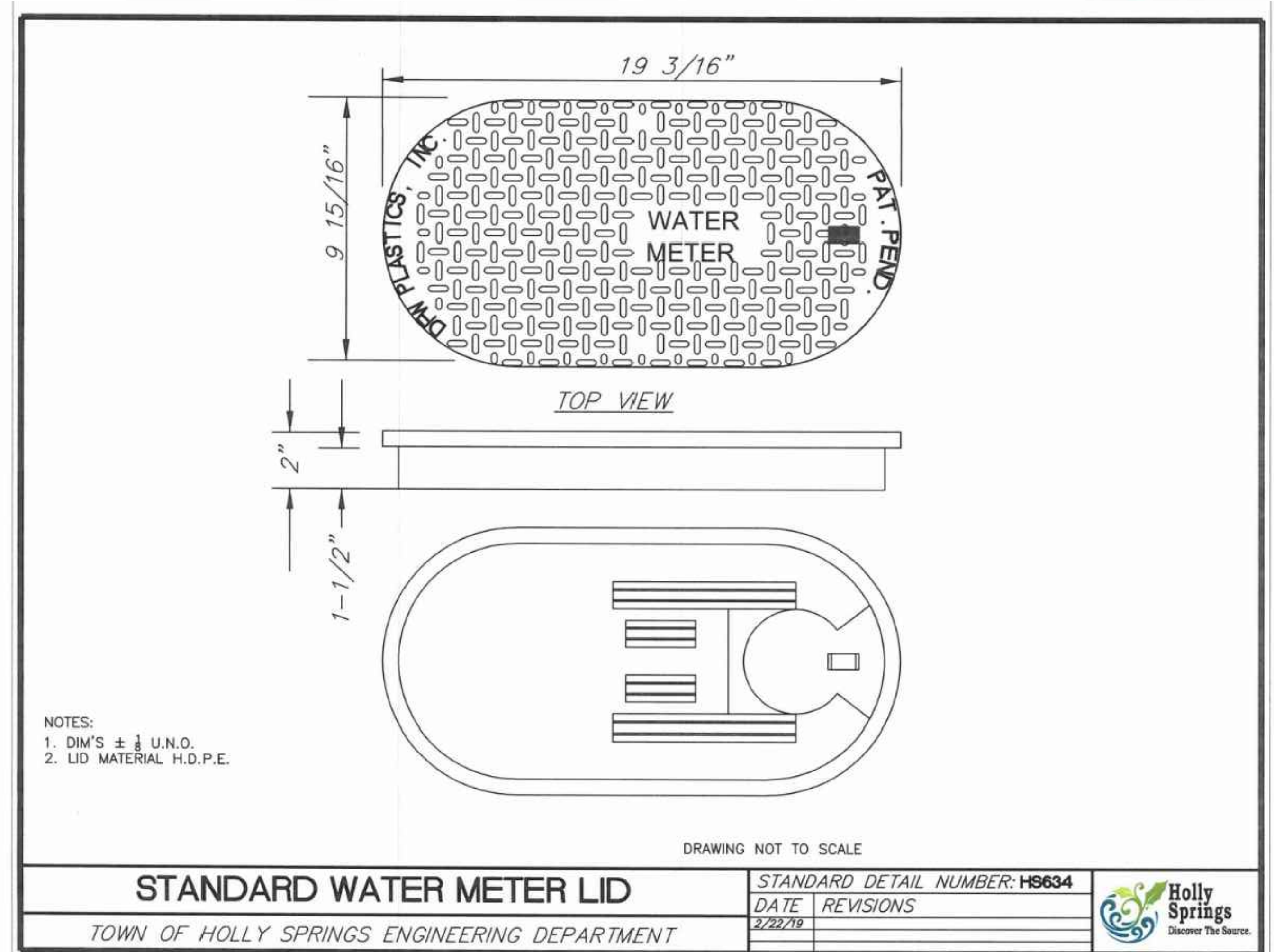
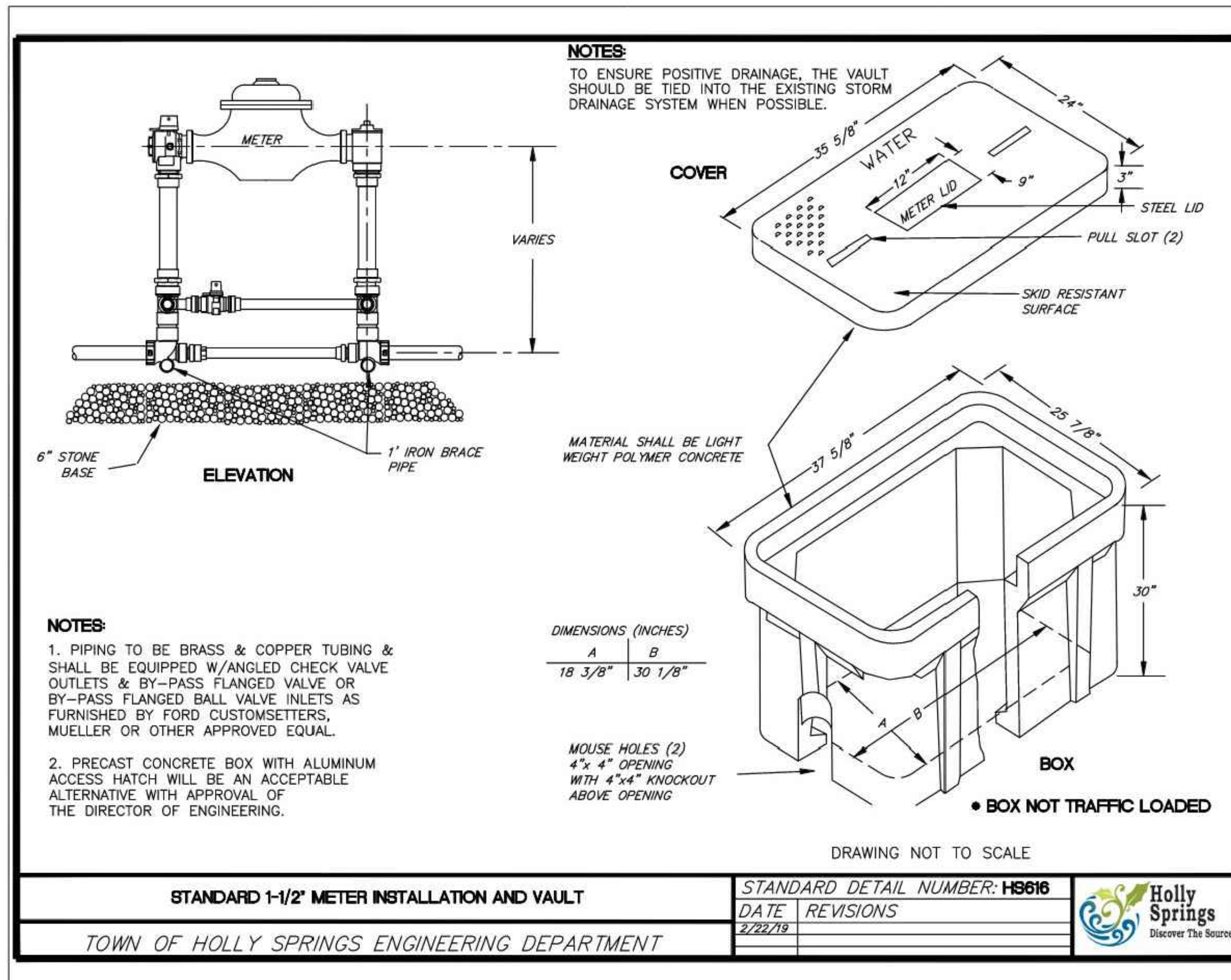
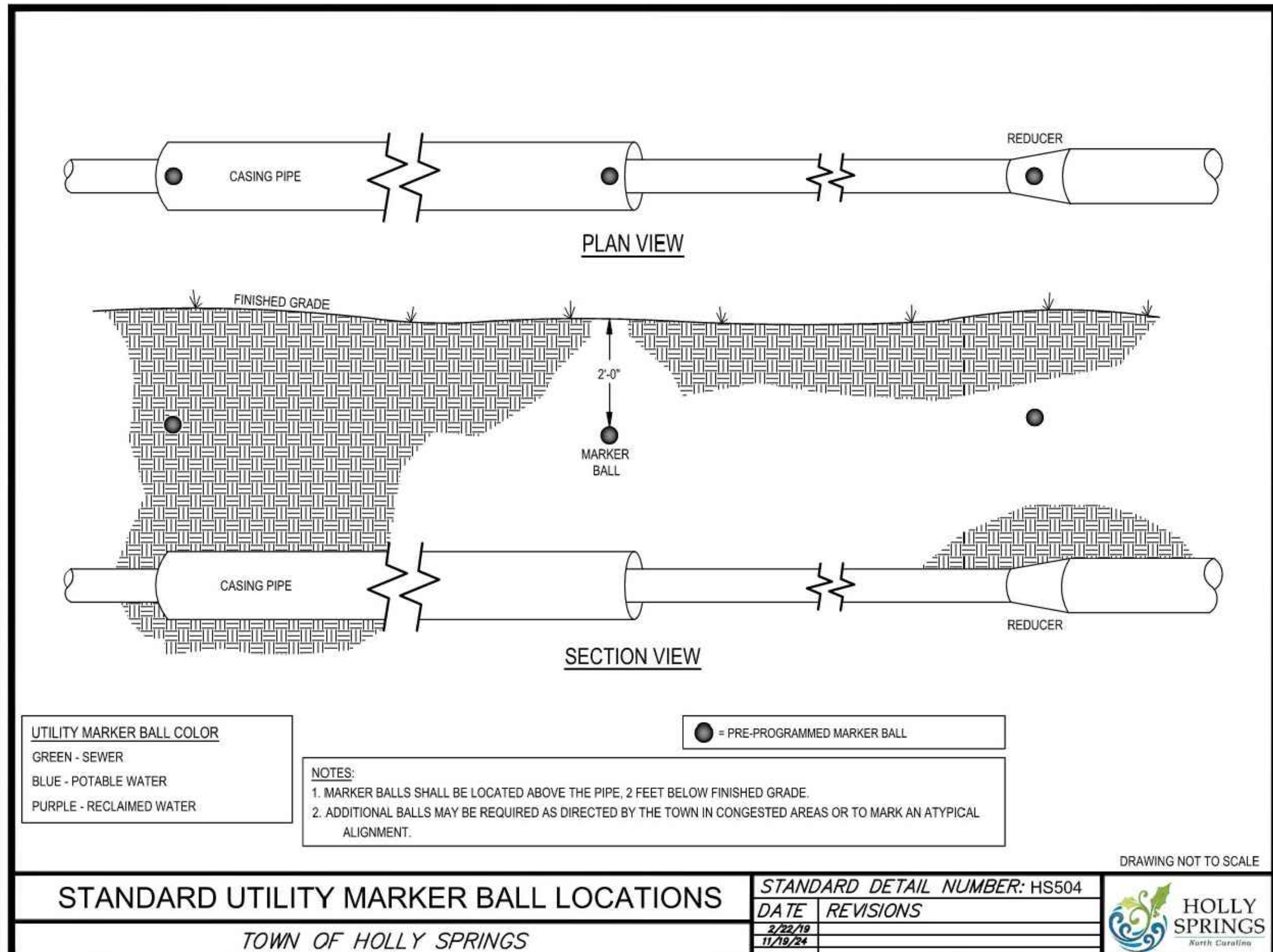
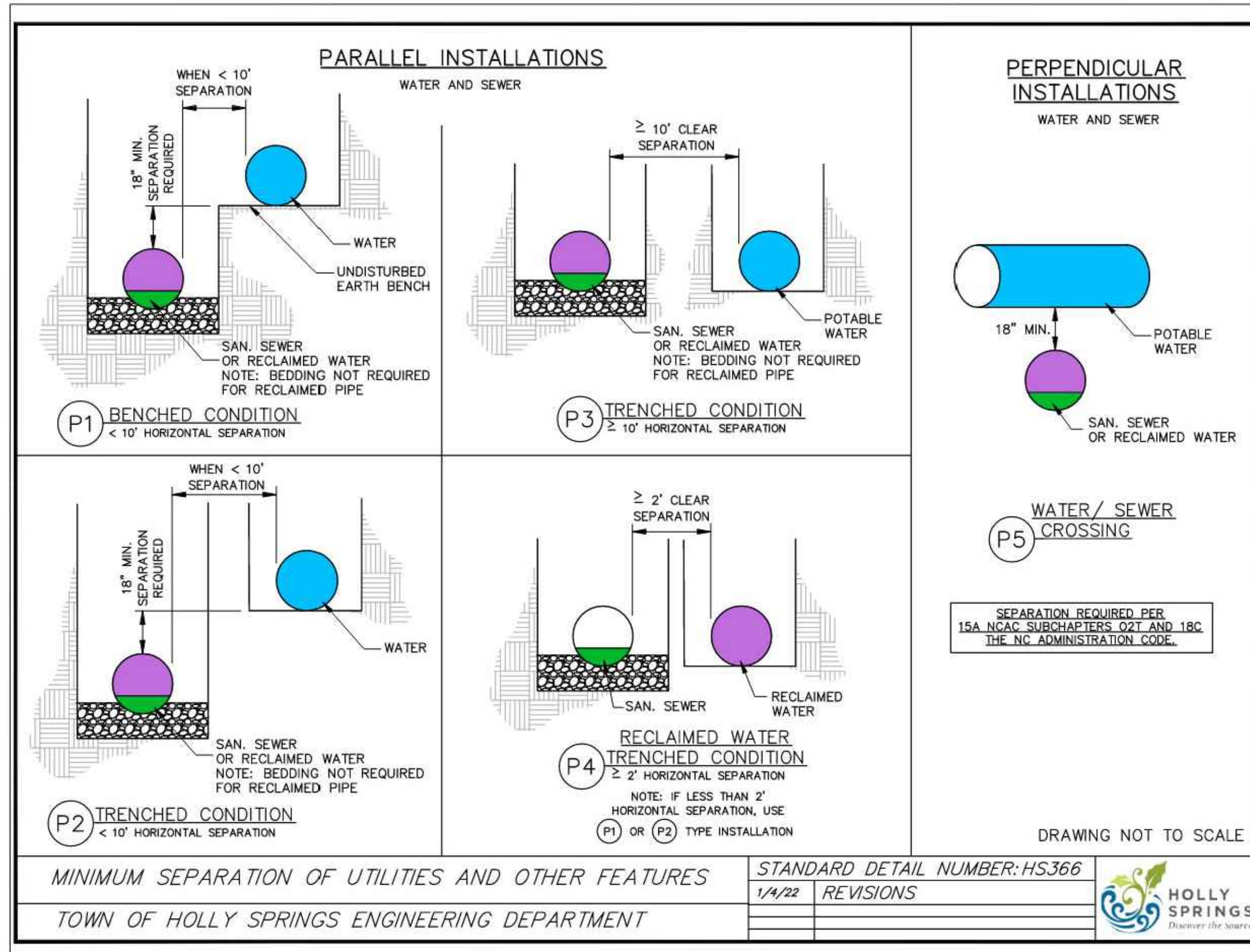
NO.	BY	DATE	DESCRIPTION

**LOUIE GENE SMITH**  
ARCHITECT  
PHONE 858-771-5658  
P.O. BOX 1925  
RICHMOND, KY 40475

**DUMPSTER PLAN & DETAILS**  
**A5.3**

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY	AAA	CHECKED BY	SCA
DATE	07-08-2025		
SHEET TITLE	SITEWORK CONSTRUCTION DETAILS		
SHEET NUMBER	C-9.3		

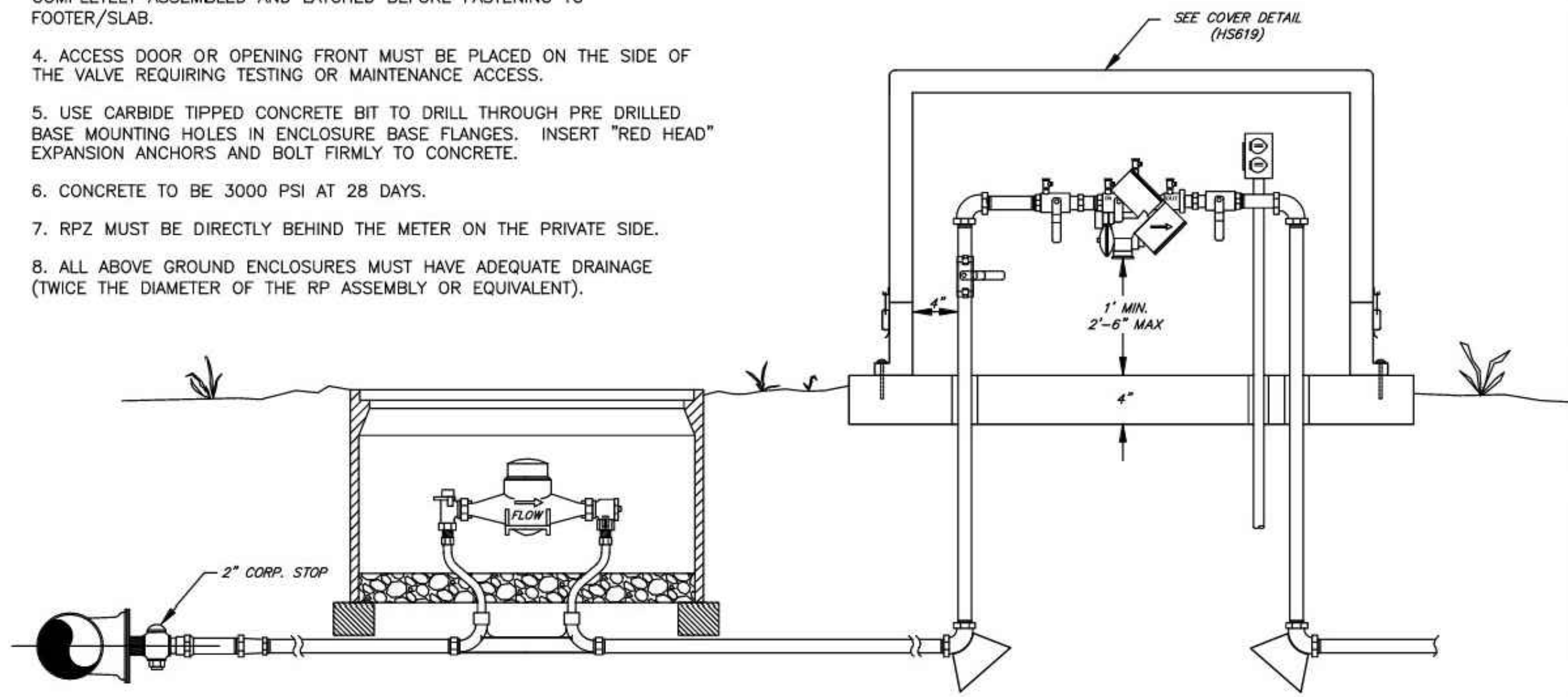


NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY AAA	CHECKED BY SCA
DATE 07-08-2025	
SHEET TITLE UTILITIES CONSTRUCTION DETAILS	
SHEET NUMBER C-10.0	

NOTES:

1. INSTALL VALVE ASSEMBLY IN ACCORDANCE WITH DRAWINGS. BE SURE THAT THE OUTSIDE DIMENSIONS OF THE VALVE ASSEMBLY WILL FIT INTO THE BOX BEFORE SETTING "HOT BOX".
2. PROVIDE GFCI RECEPTACLE, U.L. STND. 943-NEMA3R, INSIDE ENCLOSURE. MOUNT AT LEAST 6" ABOVE DISCHARGE POINT AND NEAR PIPE RISER ON THE HEATER CONNECTION SIDE.
3. WHEN PLACING HOT BOX OVER VALVE ASSEMBLY, BOX SHOULD BE COMPLETELY ASSEMBLED AND LATCHED BEFORE FASTENING TO FOOTER/SLAB.
4. ACCESS DOOR OR OPENING FRONT MUST BE PLACED ON THE SIDE OF THE VALVE REQUIRING TESTING OR MAINTENANCE ACCESS.
5. USE CARBIDE TIPPED CONCRETE BIT TO DRILL THROUGH PRE DRILLED BASE MOUNTING HOLES IN ENCLOSURE BASE FLANGES. INSERT "RED HEAD" EXPANSION ANCHORS AND BOLT FIRMLY TO CONCRETE.
6. CONCRETE TO BE 3000 PSI AT 28 DAYS.
7. RPZ MUST BE DIRECTLY BEHIND THE METER ON THE PRIVATE SIDE.
8. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE RPZ ASSEMBLY OR EQUIVALENT).



DRAWING NOT TO SCALE

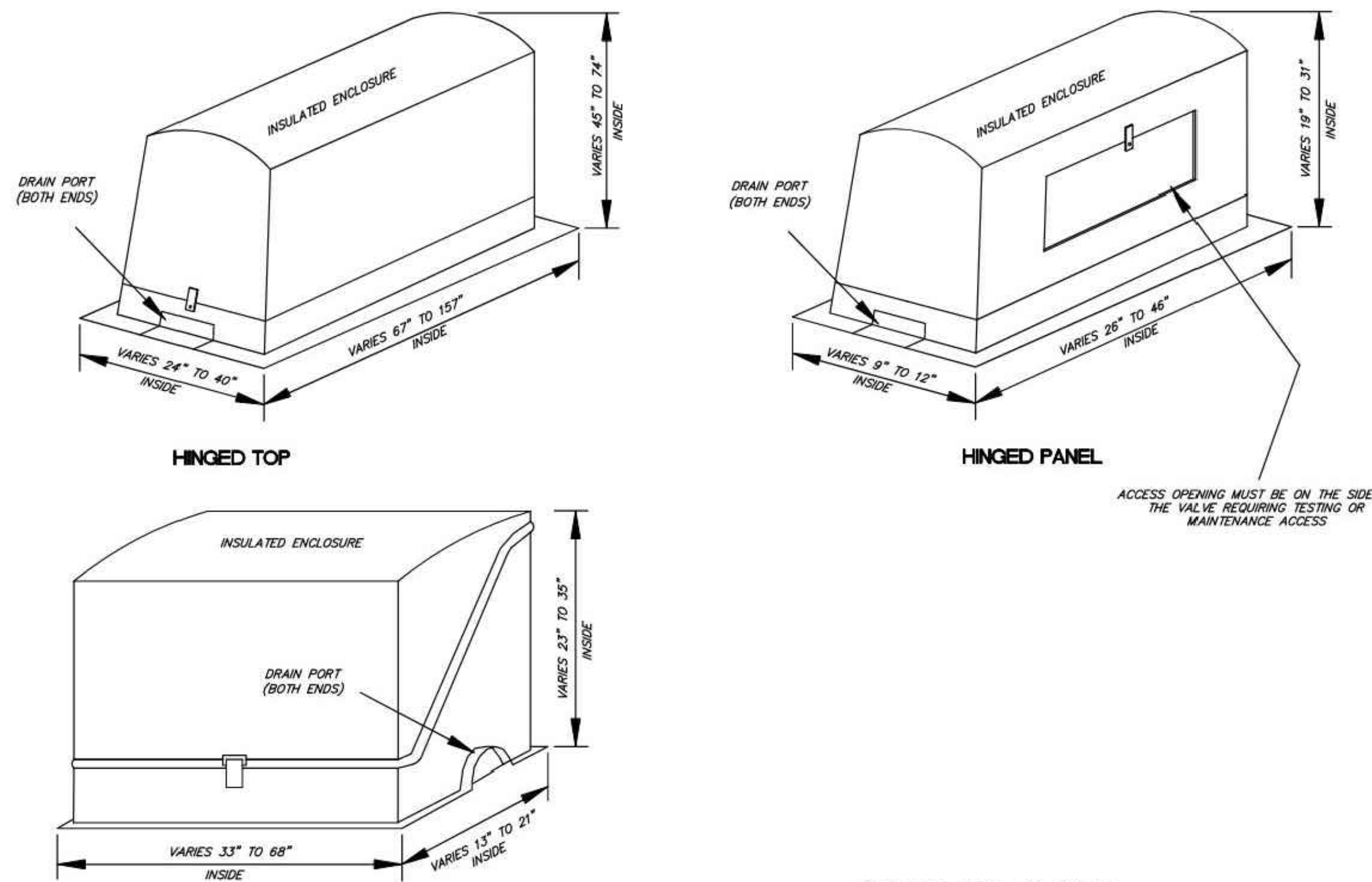
**RPZ INSTALLATION FOR COMMERCIAL IRRIGATION METERS**

TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: **HS618**

DATE REVISIONS

7/24/09



DRAWING NOT TO SCALE

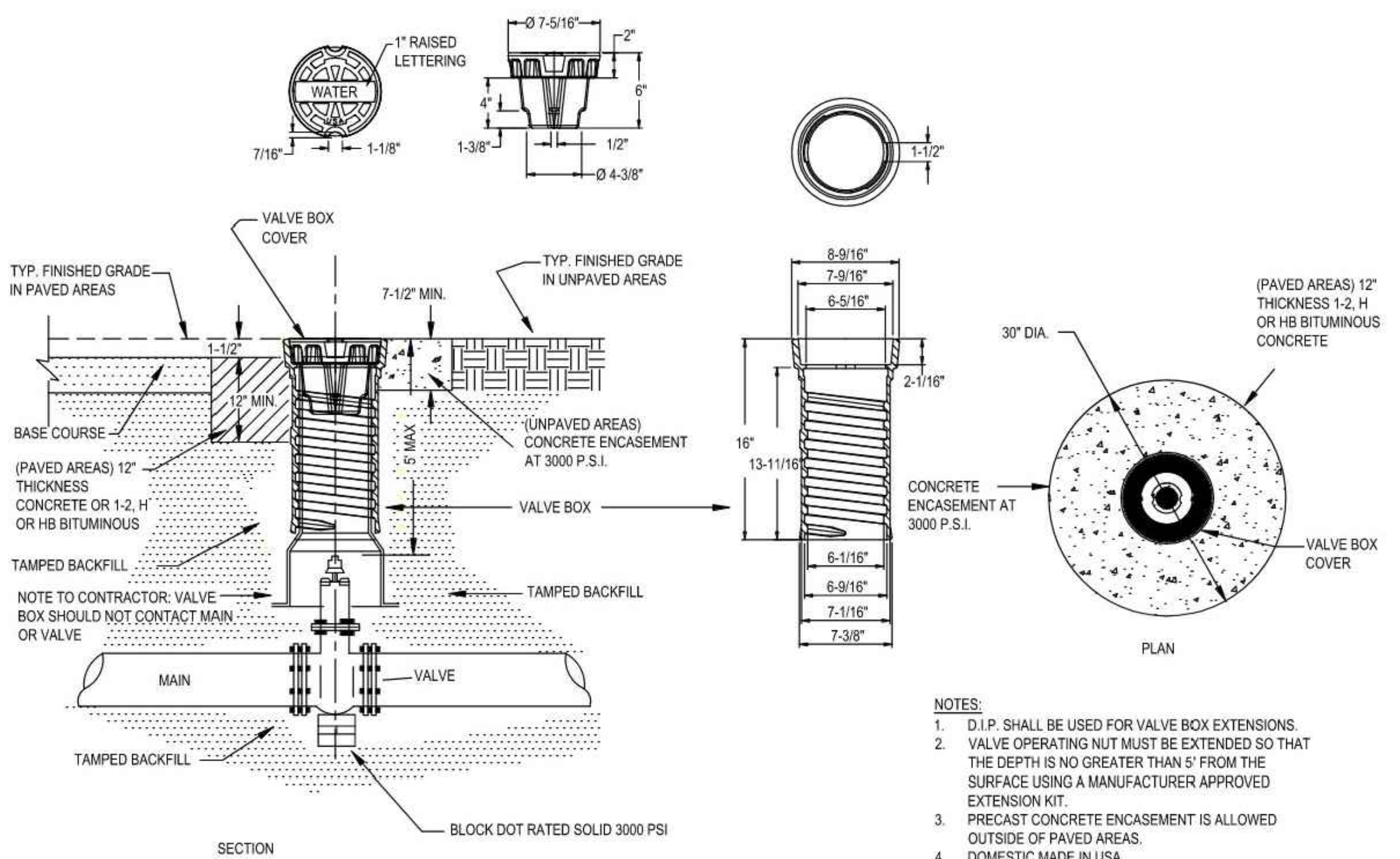
**OUTDOOR RPZ SERVICES COVER**

TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: **HS619**

DATE REVISIONS

8/20/19



- NOTES:
1. D.I.P. SHALL BE USED FOR VALVE BOX EXTENSIONS.
  2. VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5' FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
  3. PRECAST CONCRETE ENCASUREMENT IS ALLOWED OUTSIDE OF PAVED AREAS.
  4. DOMESTIC MADE IN USA.

DRAWING NOT TO SCALE

**STANDARD VALVE BOX INSTALLATION**

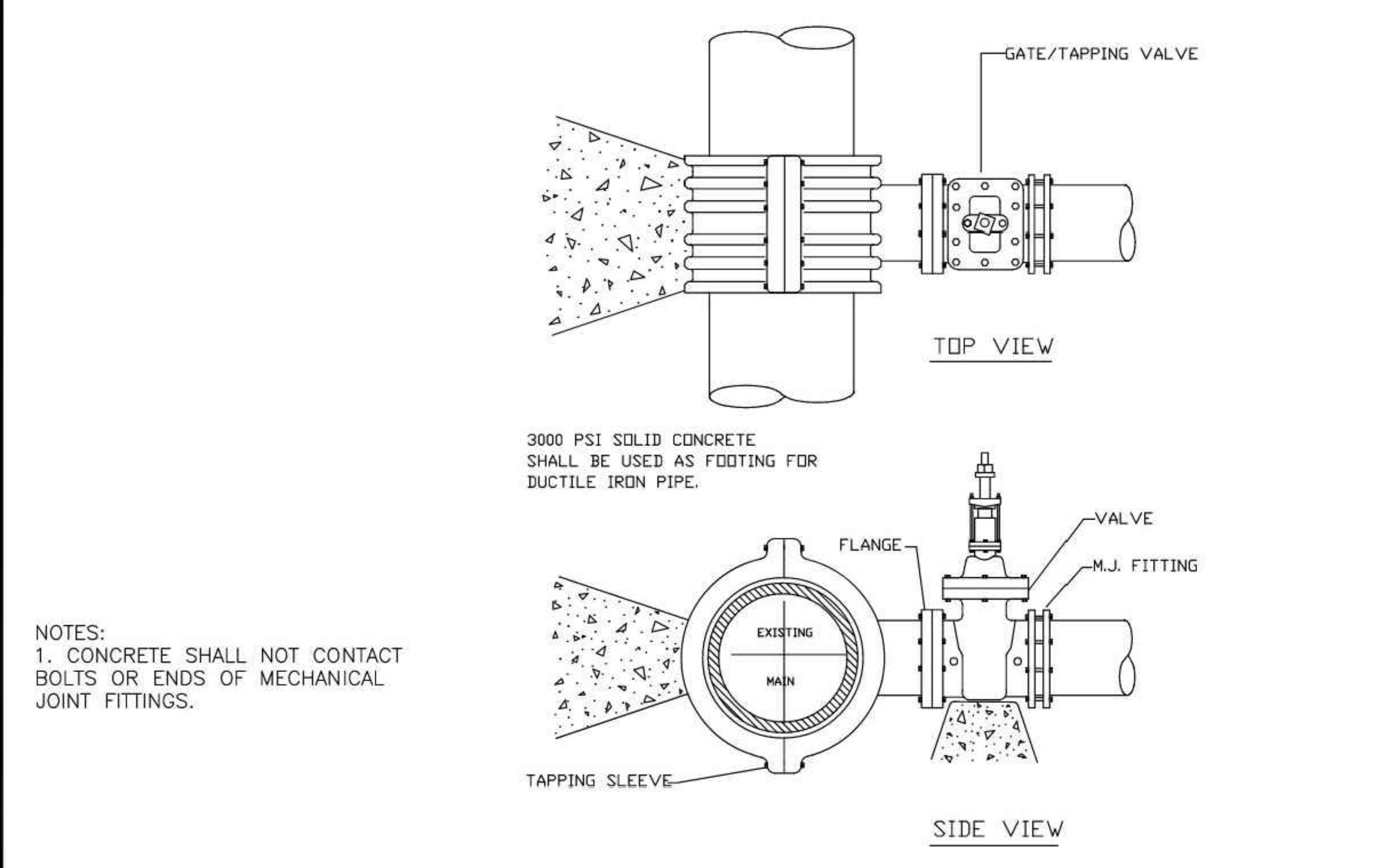
TOWN OF HOLLY SPRINGS

STANDARD DETAIL NUMBER: **HS601**

DATE REVISIONS

3/4/17

11/15/24



DRAWING NOT TO SCALE

**4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY**

TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: **HS628**

DATE REVISIONS

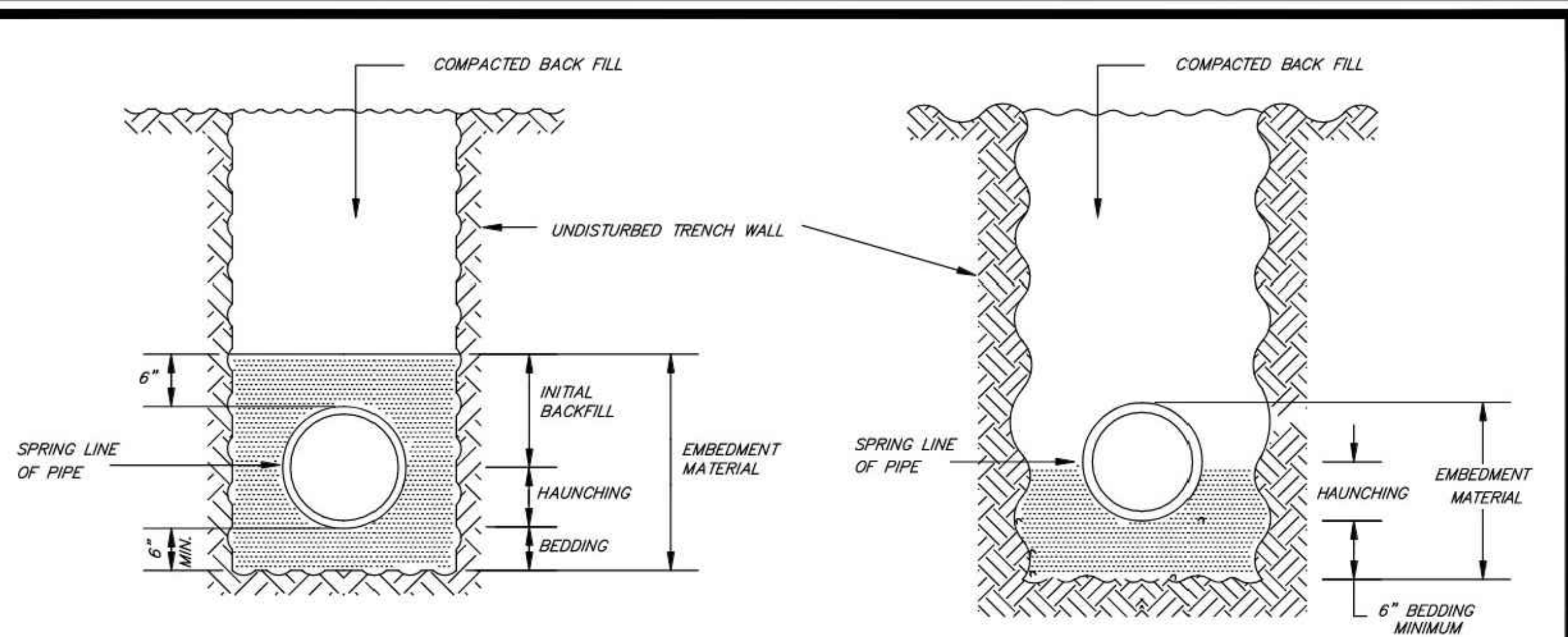
8/30/19



NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

DRAWN BY	CHECKED BY
AAA	SCA
DATE	
07-08-2025	
SHEET TITLE	
UTILITIES CONSTRUCTION DETAILS	
SHEET NUMBER	
<b>C-10.1</b>	





**SPECIAL BEDDING FOR 14'-20' DEPTHS AND FOR PIPE 18" AND ABOVE IN SIZE**

**STANDARD BEDDING FOR 3' TO 14' DEPTHS**

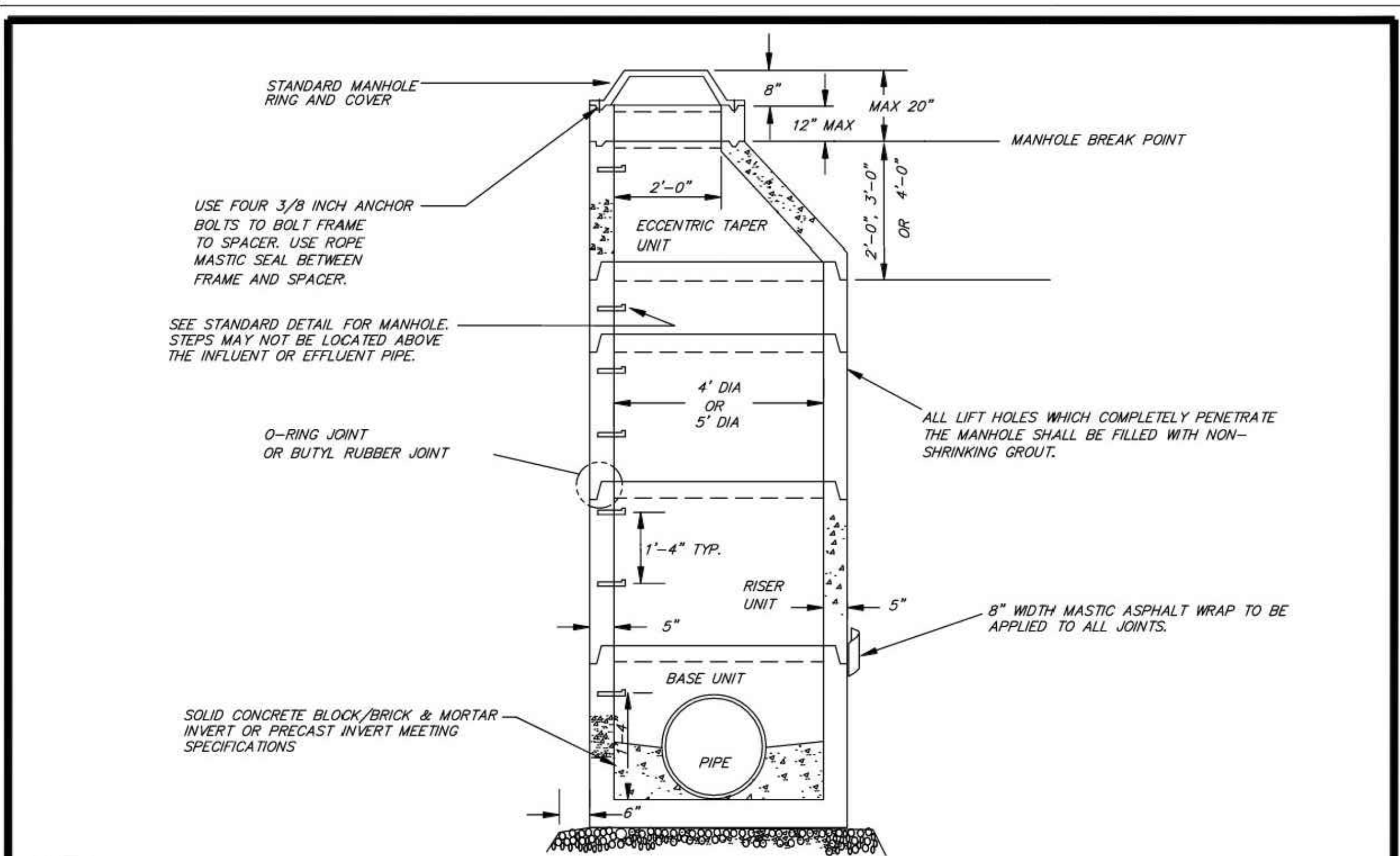
**NOTES:**

1. EMBEDMENT MATERIAL MUST BE CLASS I (NO. 67 OR NO. 78M WASHED STONE IS TYPICALLY USED).
2. EMBEDMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY FOR CLASS I MATERIAL.
3. ALL SANITARY SEWER LINES LESS THAN 3' AND OVER 20 FEET IN DEPTH MUST BE D.I.P.

DRAWING NOT TO SCALE

**BEDDING FOR FLEXIBLE AND SEMI-RIGID SANITARY SEWER PIPE**  
 TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: <b>HS703</b>	
DATE	REVISIONS
7/24/09	



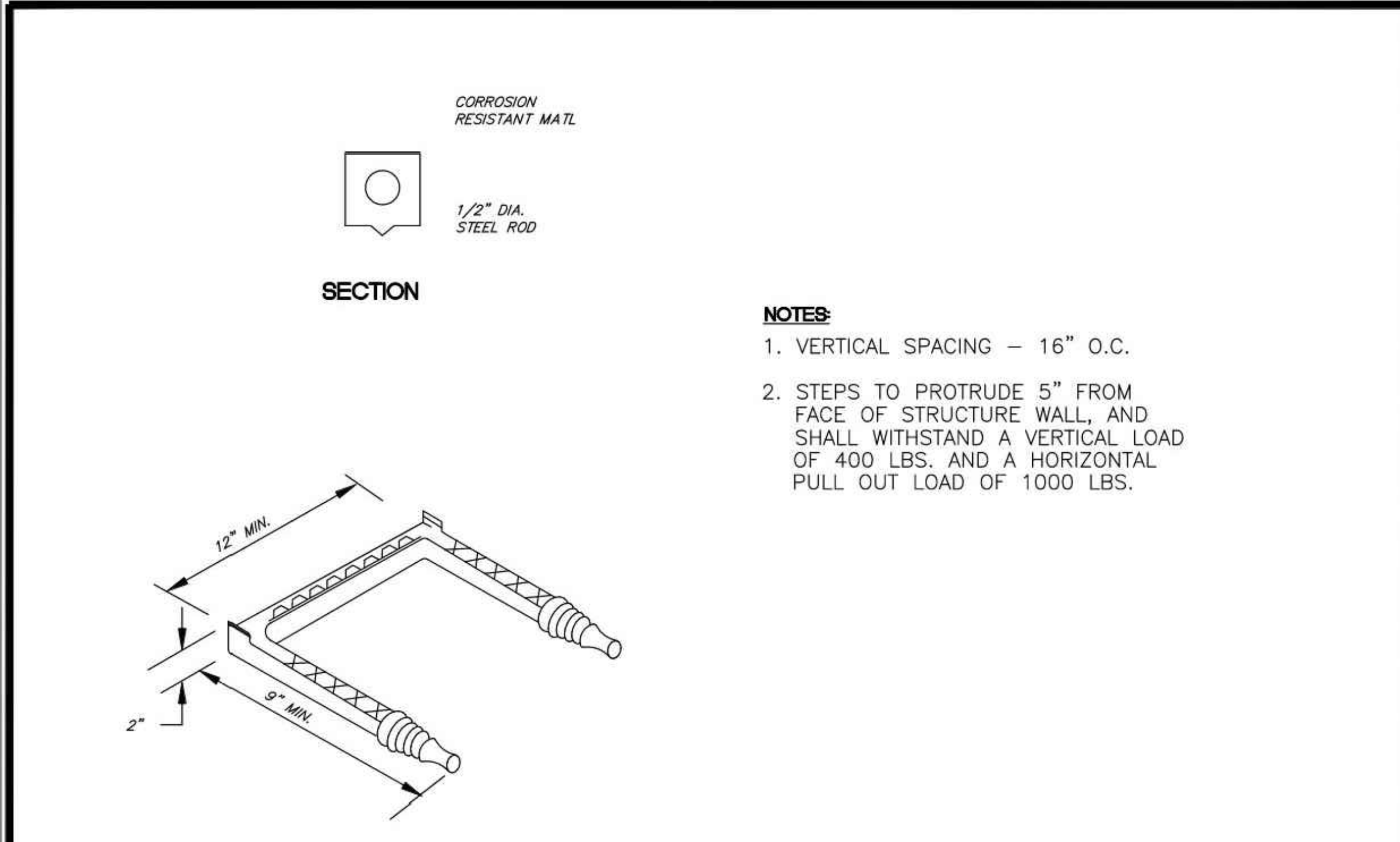
**NOTES:**

1. ANY MANHOLE OVER 20' IN DEPTH SHALL BE 5' IN DIAMETER.
2. NO FLAT TOPS ALLOWED.

DRAWING NOT TO SCALE

**STANDARD PRECAST CONCRETE MANHOLE**  
 TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: <b>HS706</b>	
DATE	REVISIONS
8/30/19	



**SECTION**

**NOTES:**

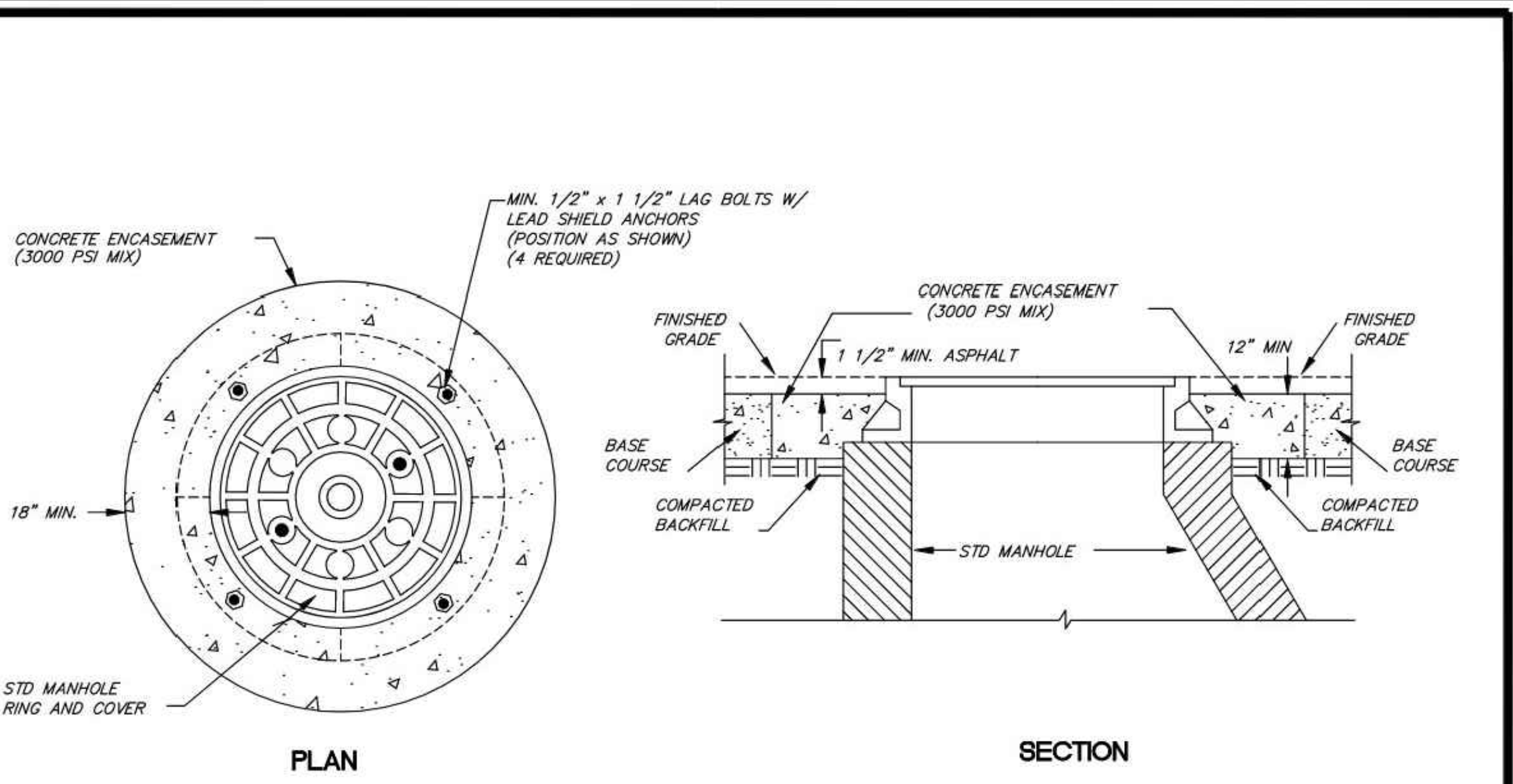
1. VERTICAL SPACING - 16" O.C.
2. STEPS TO PROTRUDE 5" FROM FACE OF STRUCTURE WALL, AND SHALL WITHSTAND A VERTICAL LOAD OF 400 LBS. AND A HORIZONTAL PULL OUT LOAD OF 1000 LBS.

**ENCAPSULATED STEEL STEP**

DRAWING NOT TO SCALE

**MANHOLE STEPS**  
 TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: <b>HS709</b>	
DATE	REVISIONS
8/30/19	



**PLAN**

**SECTION**

**NOTES:**

1. ALL MANHOLE COVERS TO HAVE 2 HOLES ONLY.
2. USE SOLID LID ON ALL MANHOLES LOCATED IN LOW AREAS OF ROAD PROFILE.
3. MANHOLE RING TO BE BOLTED AS SHOWN W/ROPE MASTIC SEAL BETWEEN FRAME AND SPACER.
4. DOMESTIC MADE IN USA AND MEET H20 LOADING NCDOT NO 840.54.

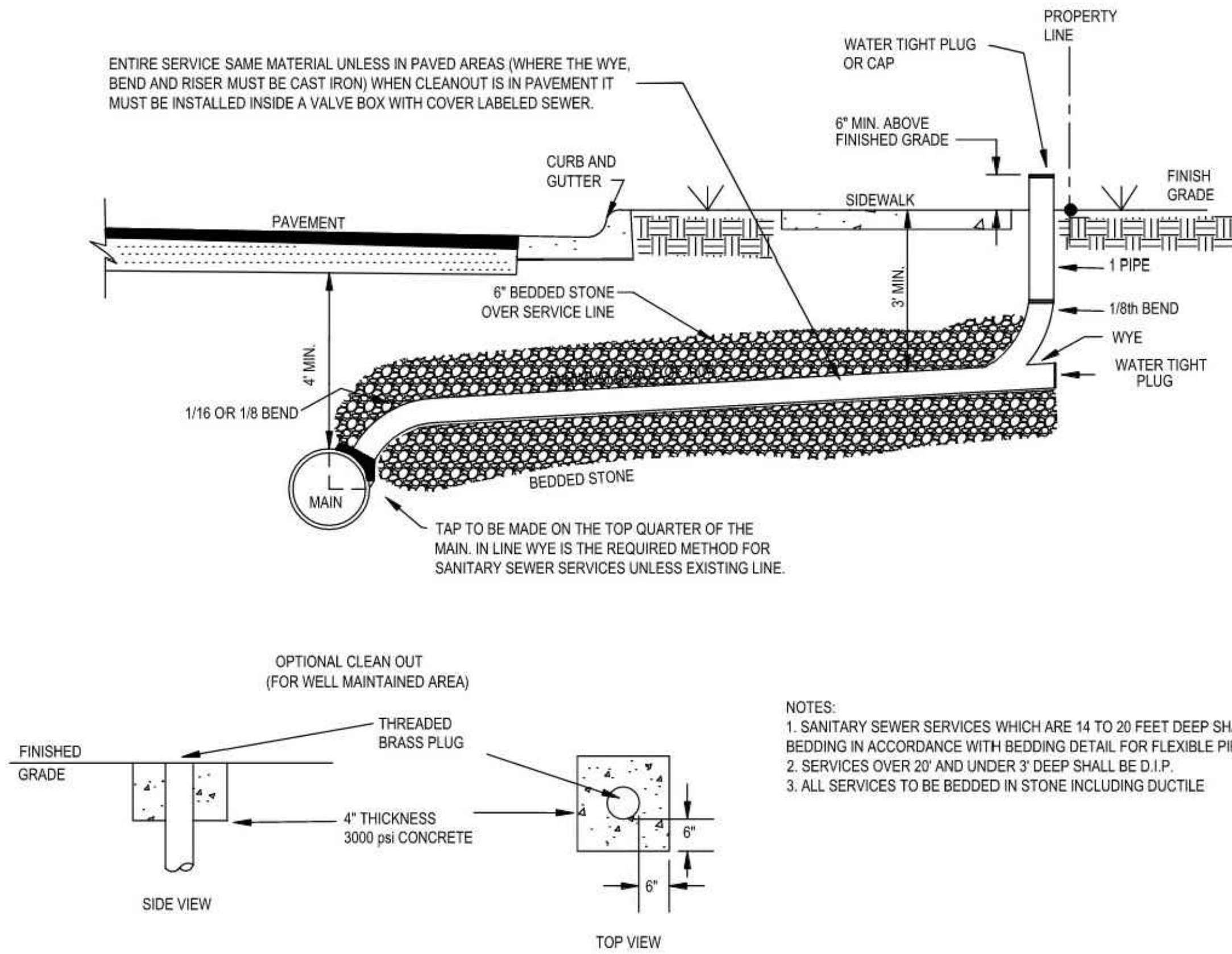
DRAWING NOT TO SCALE

**STANDARD MANHOLE RING AND COVER ENCASEMENT FOR MANHOLES LOCATED IN PAVED AREAS**  
 TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: <b>HS710</b>	
DATE	REVISIONS
7/24/09	

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10.02.25	CITY COMMENTS
AAA	AAA	10.31.25	CITY COMMENTS

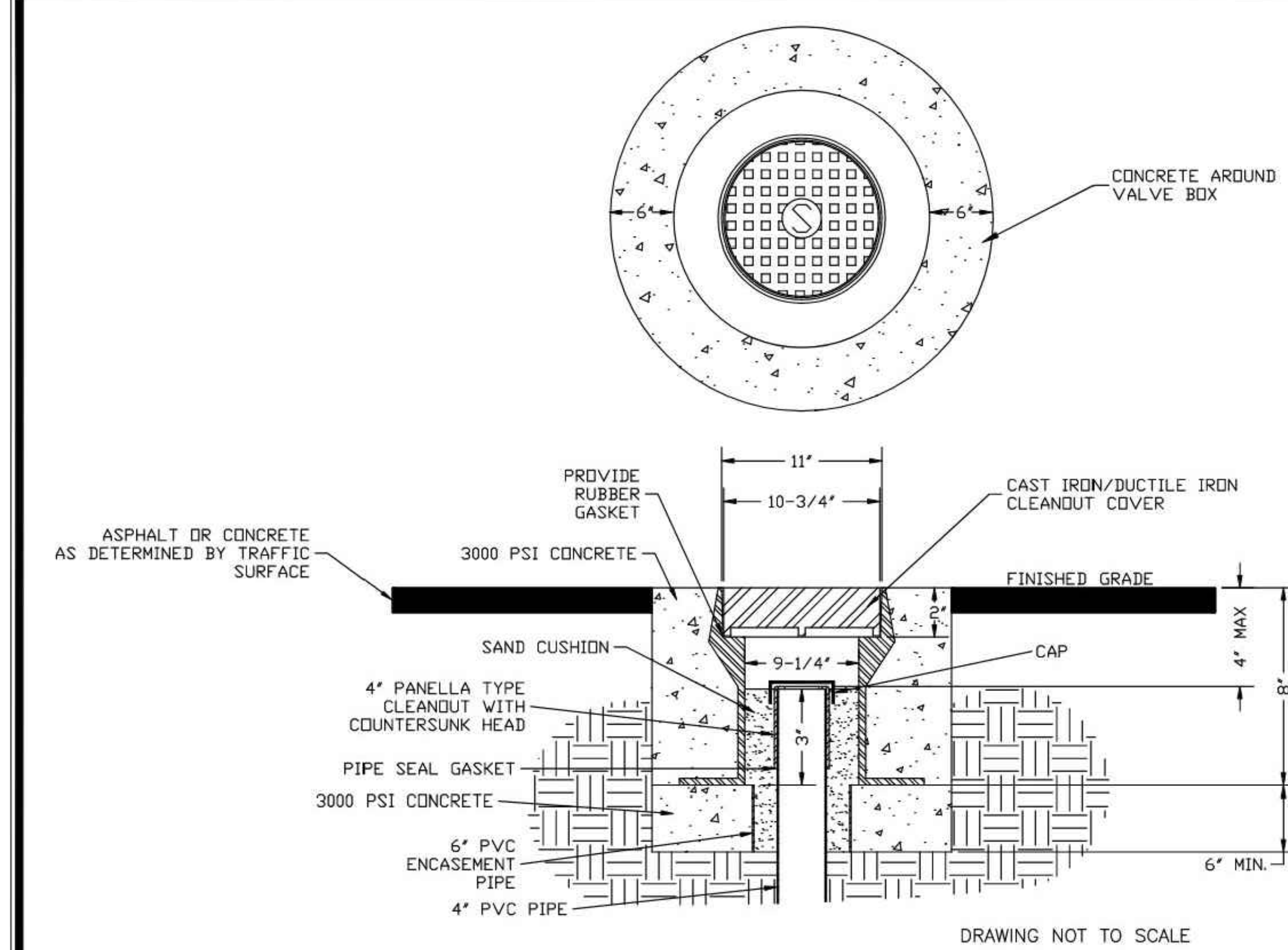
DRAWN BY	CHECKED BY
AAA	SCA
DATE	
07-08-2025	
SHEET TITLE	
UTILITIES CONSTRUCTION DETAILS	
SHEET NUMBER	



**STANDARD SANITARY SEWER TAP AND SERVICE**  
TOWN OF HOLLY SPRINGS

STANDARD DETAIL NUMBER: **HS115**

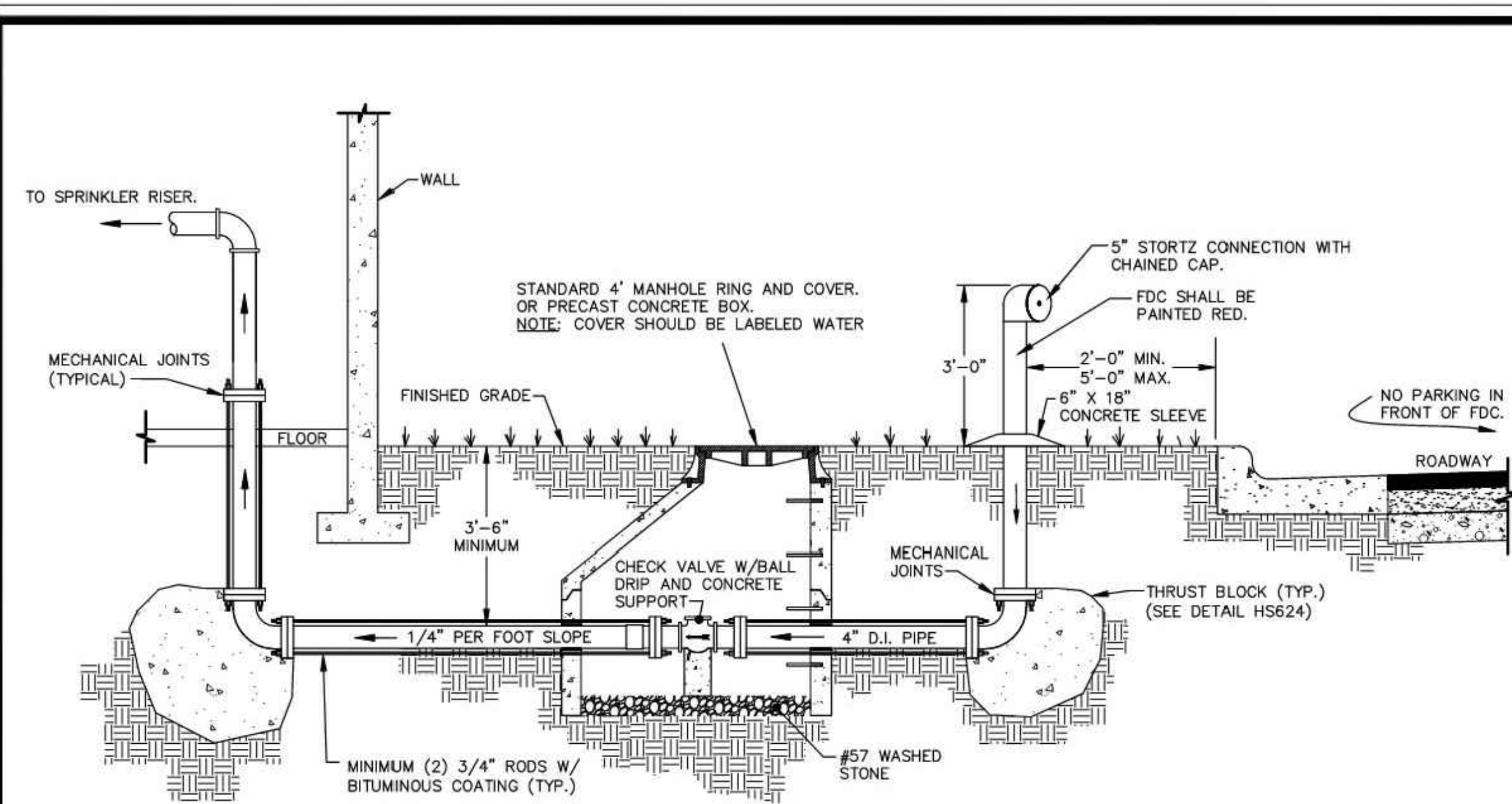
DATE	REVISIONS
8/20/19	
11/19/21	



**SEWER MINI-MANHOLE CLEANOUT COVER ASSEMBLY FOR TRAFFIC AREA**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: **HS723**

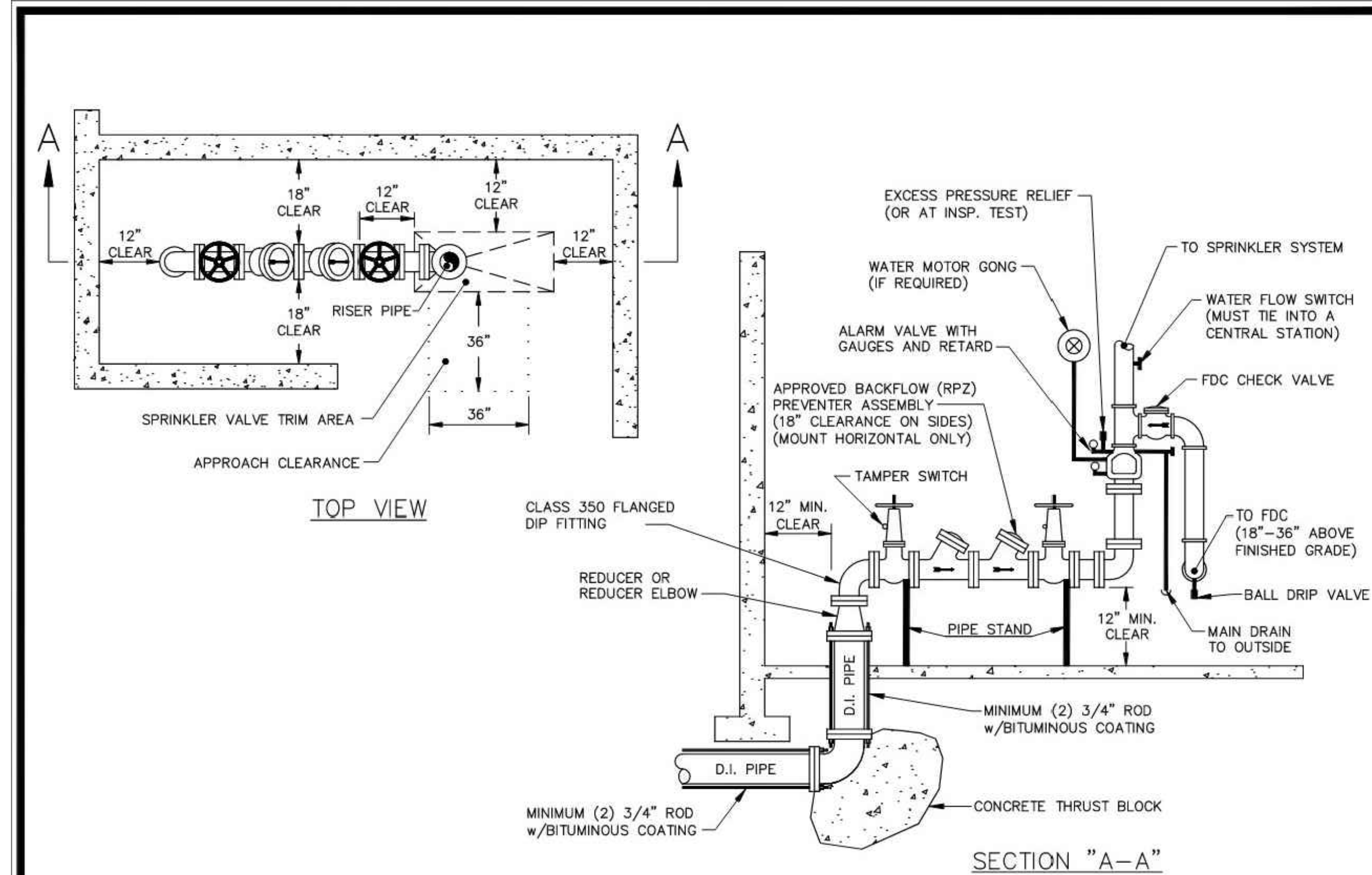
DATE	REVISIONS
7/24/09	



**STANDARD DETACHED FDC CONNECTION**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: **HS625**

DATE	REVISIONS
11/29/21	



**STANDARD SPRINKLER RISER**  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: **HS626**

DATE	REVISIONS
7/24/09	



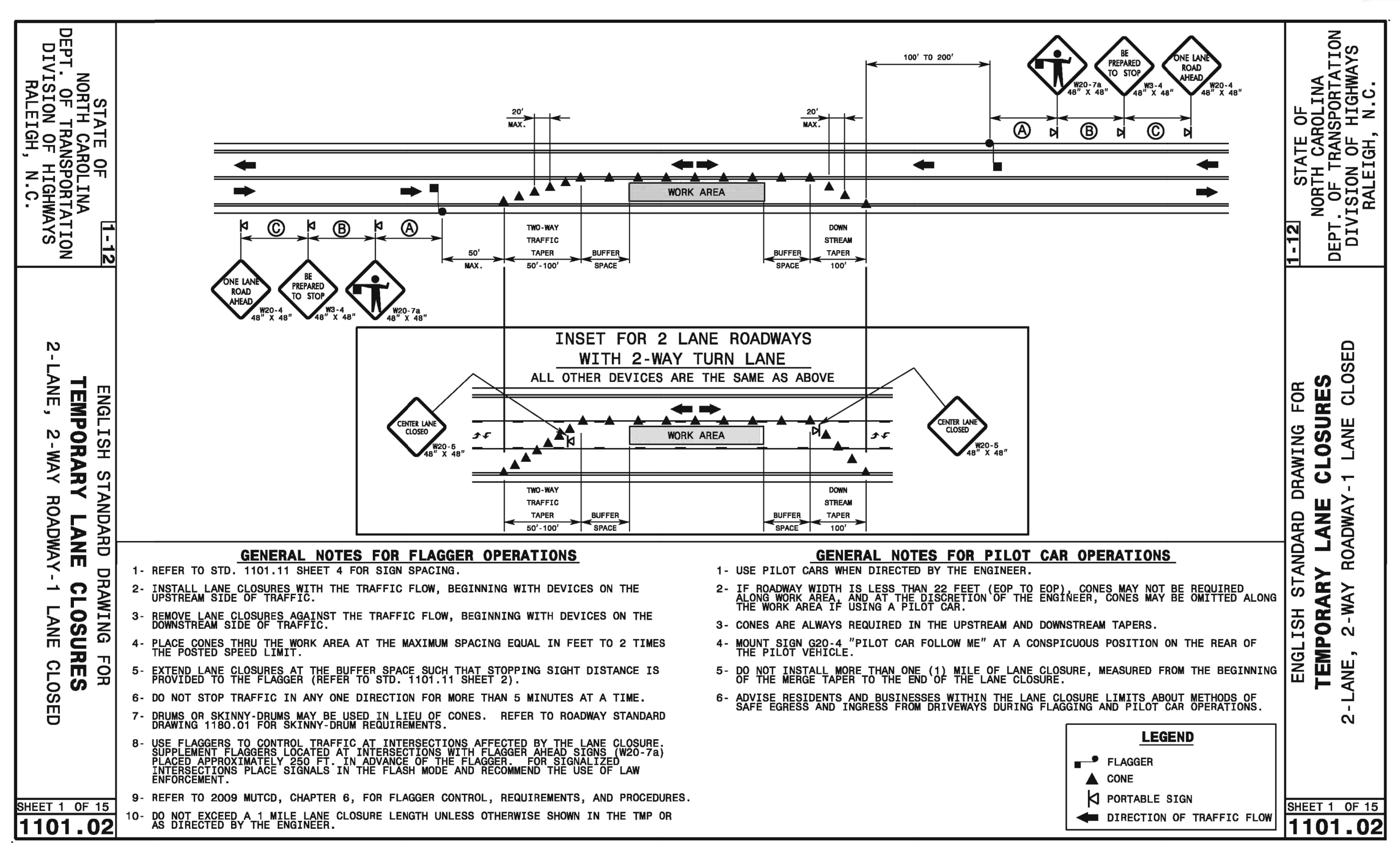
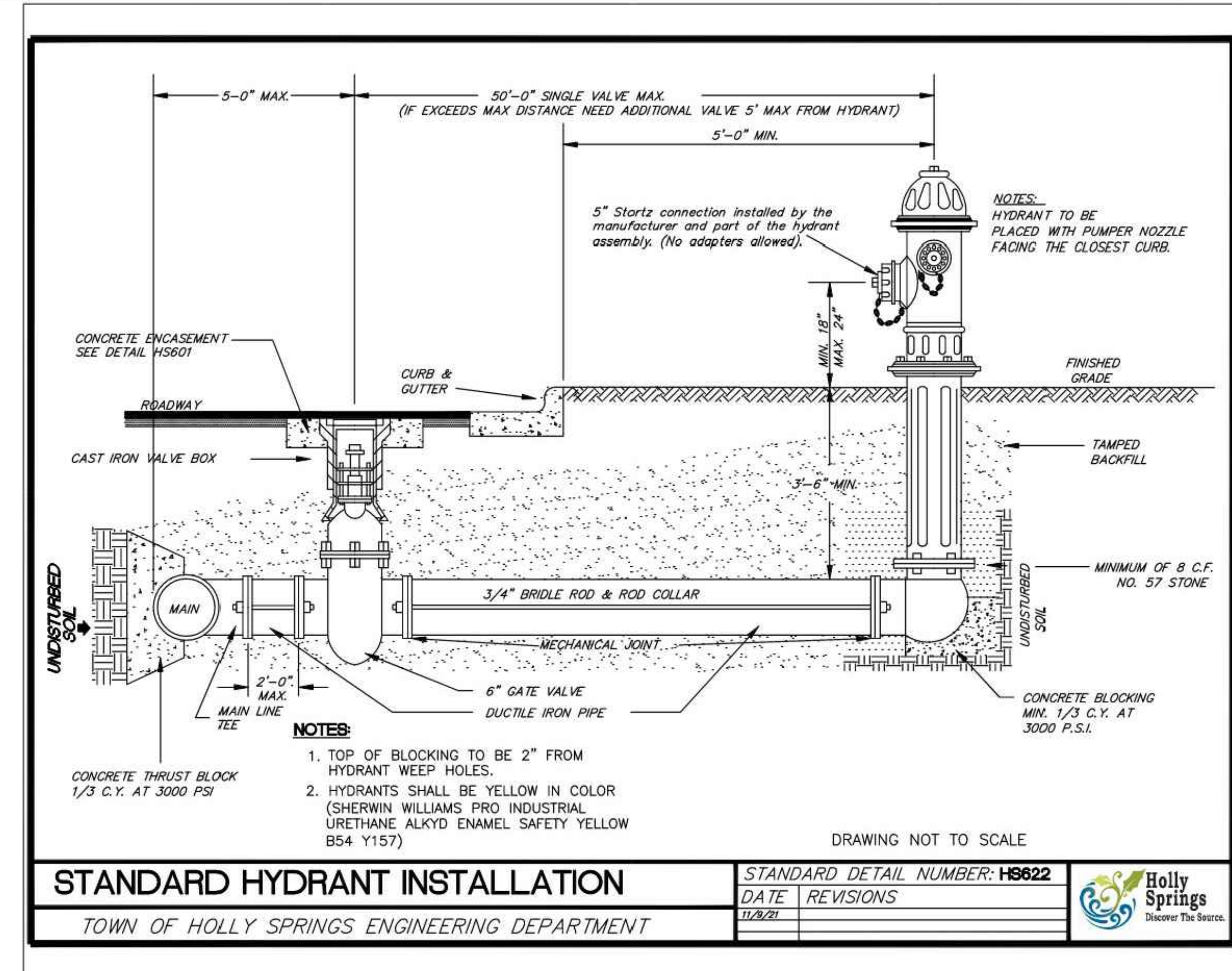
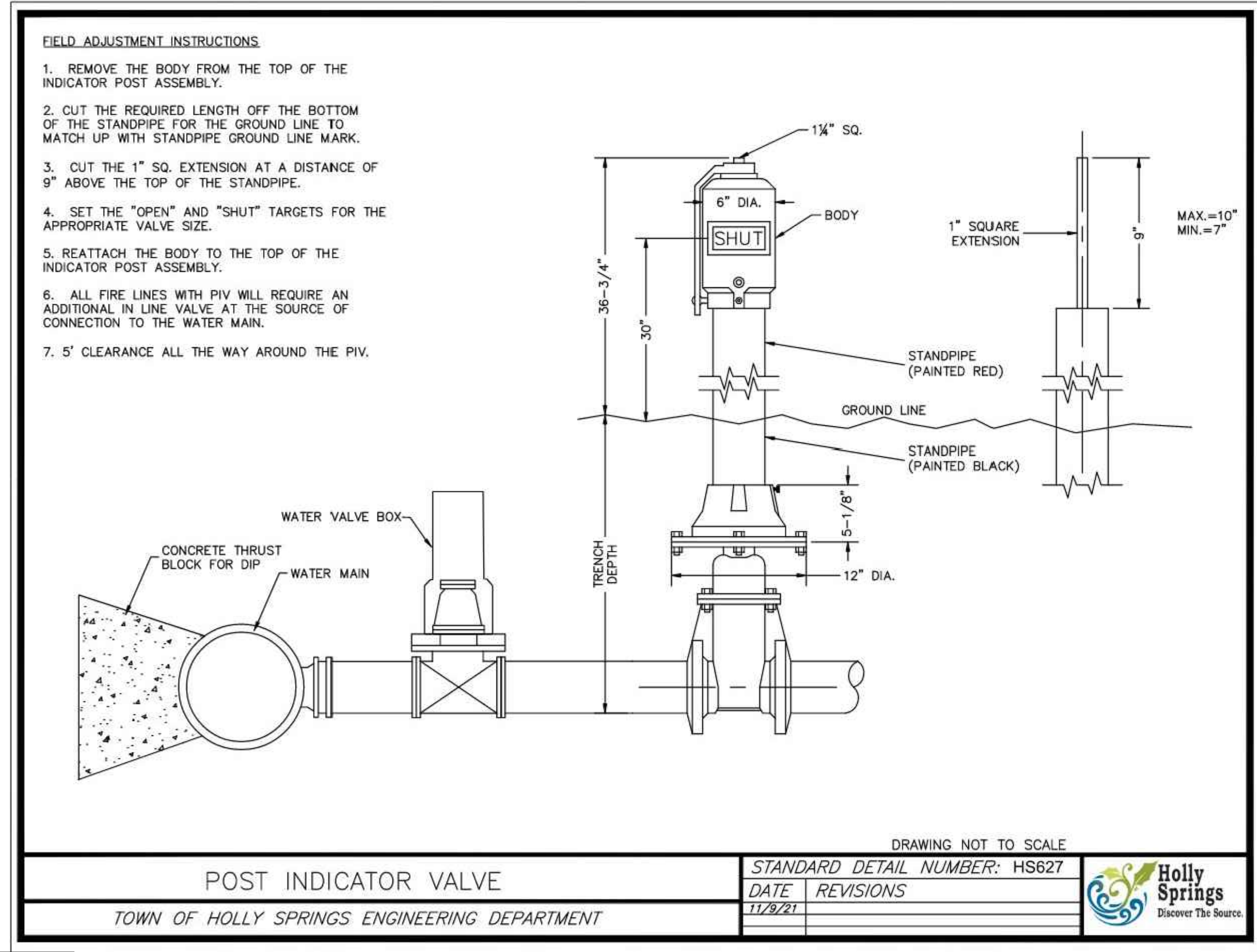
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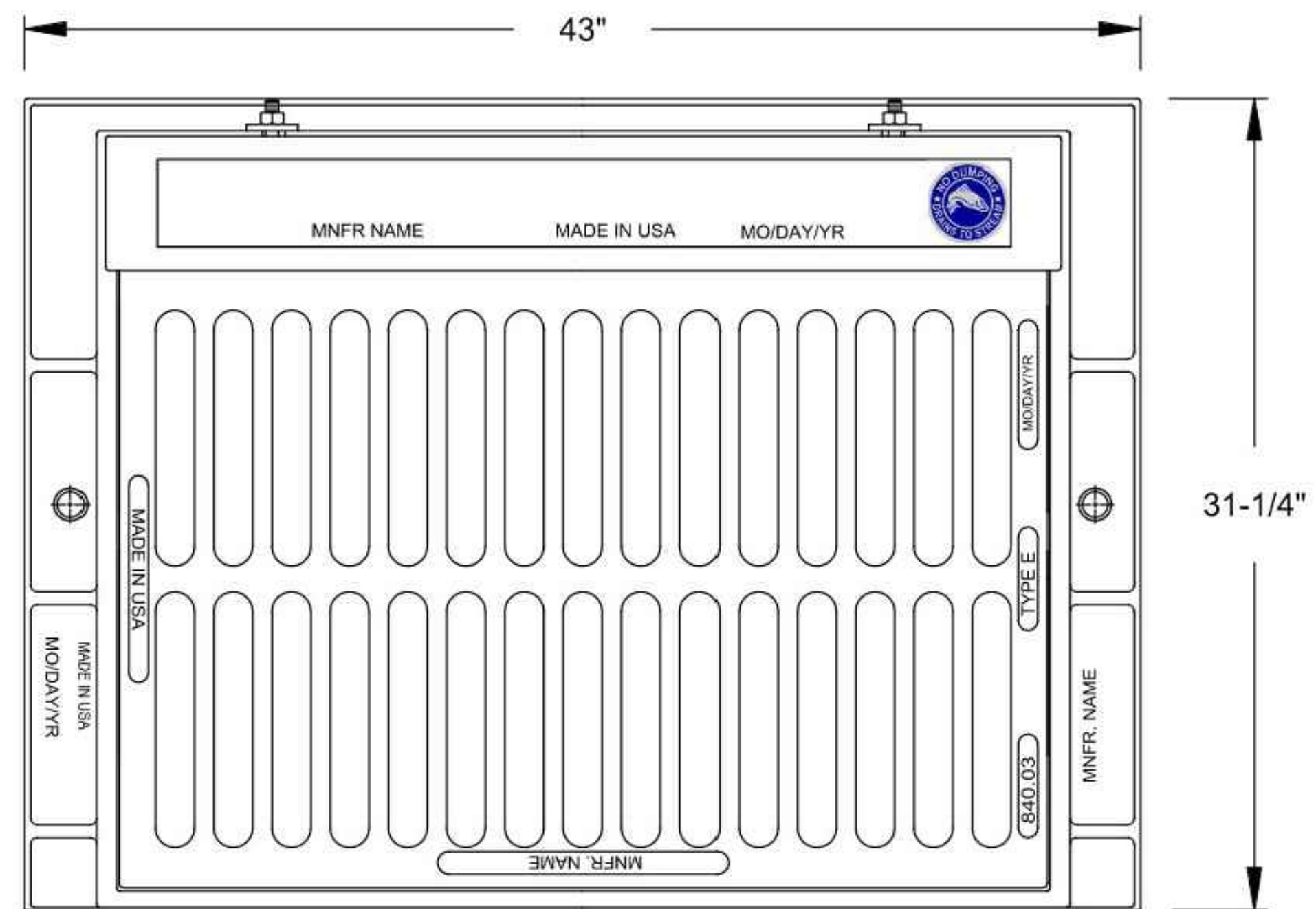
DATE	CHECKED BY
07-08-2025	SCA
SHEET TITLE	
UTILITIES CONSTRUCTION DETAILS	
SHEET NUMBER	
<b>C-10.4</b>	

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
AAA	10-02-25	CITY COMMENTS			
AAA	10-31-25	CITY COMMENTS			

DRAWN BY	AAA	CHECKED BY	SCA
DATE	07-08-2025		

SHEET TITLE	UTILITIES CONSTRUCTION DETAILS
SHEET NUMBER	<b>C-10.5</b>

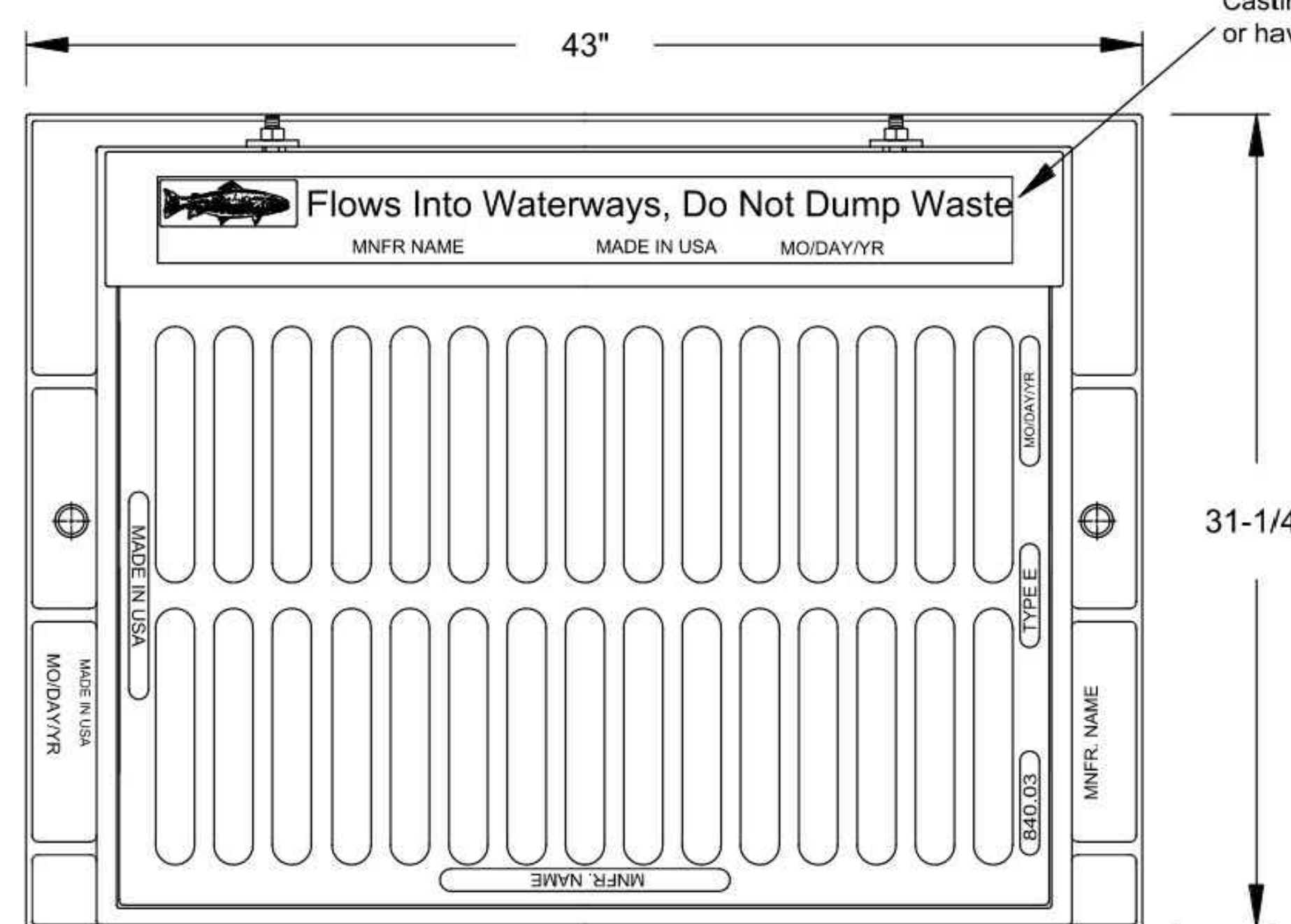




MUST MEET NCDOT STANDARDS  
ROADWAY STANDARD DRAWING 840.03  
DRAWING NOT TO SCALE

STANDARD PLACEMENT OF STORM DRAIN MARKER  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

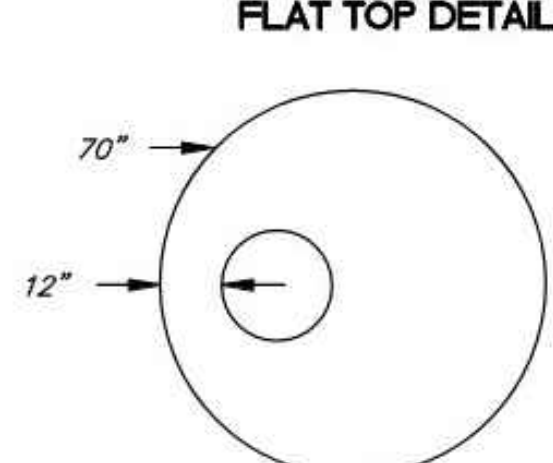
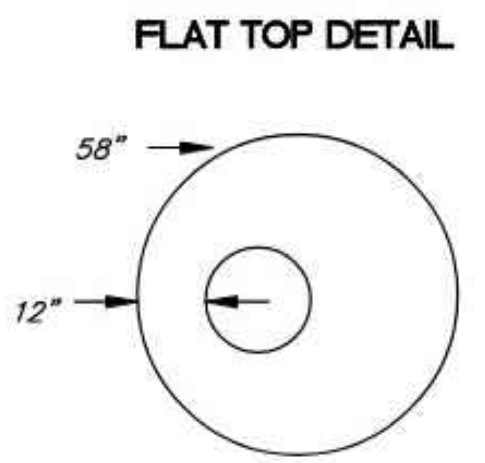
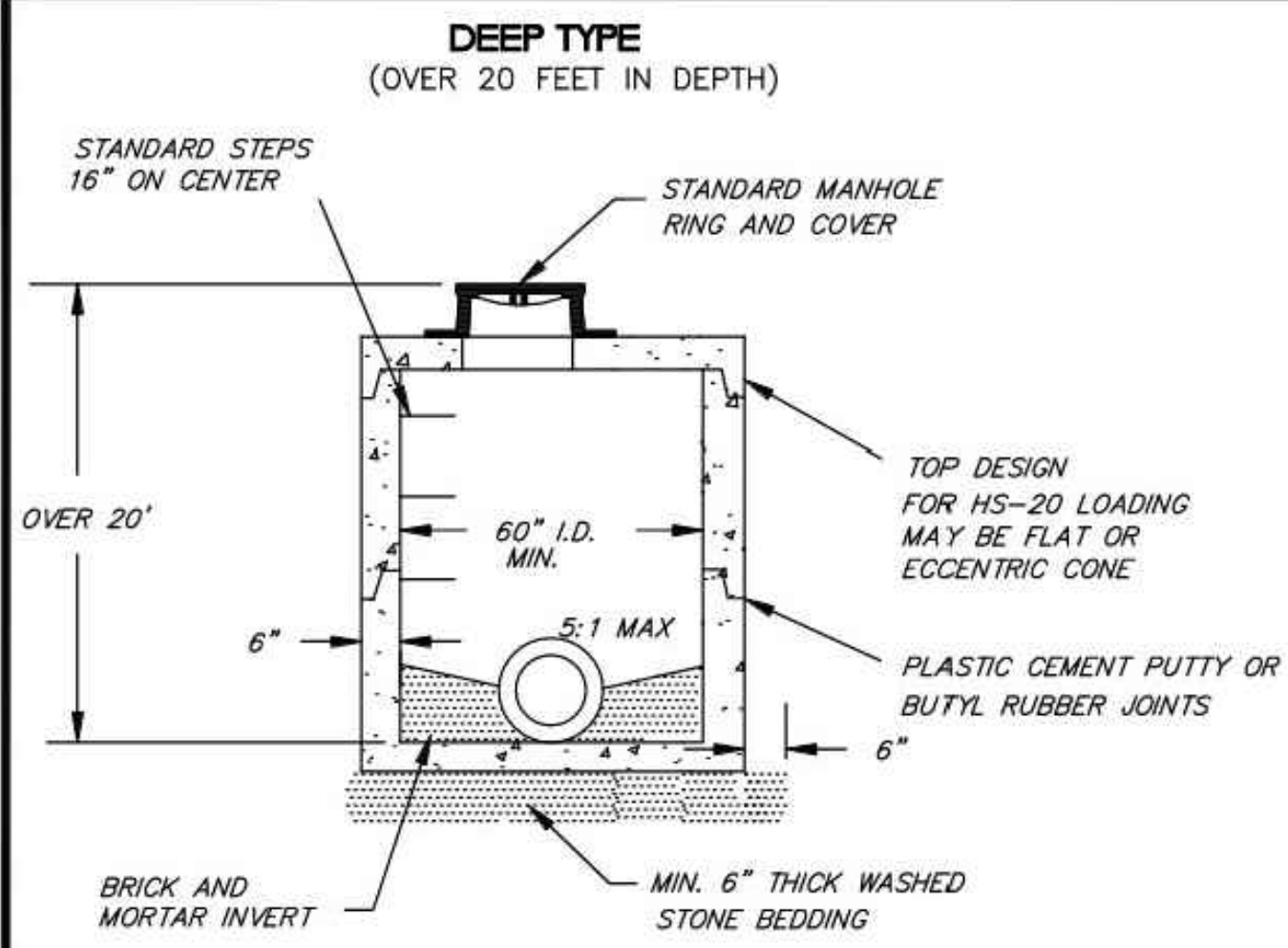
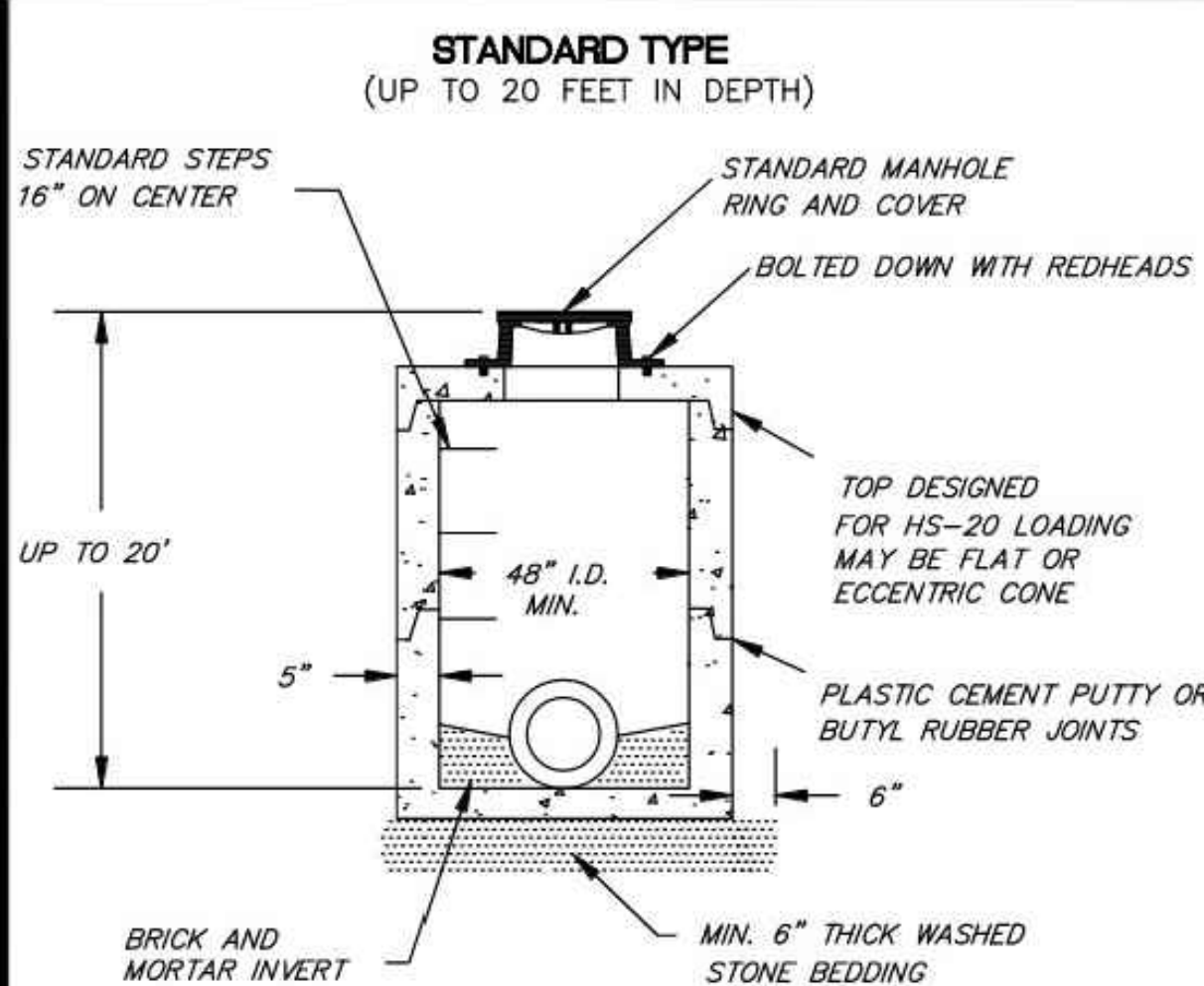
STANDARD DETAIL NUMBER: HS815
DATE REVISIONS
7/24/09



MUST MEET NCDOT STANDARDS  
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DRAWING NOT TO SCALE

STANDARD FRAME LABEL FOR CATCH BASIN  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

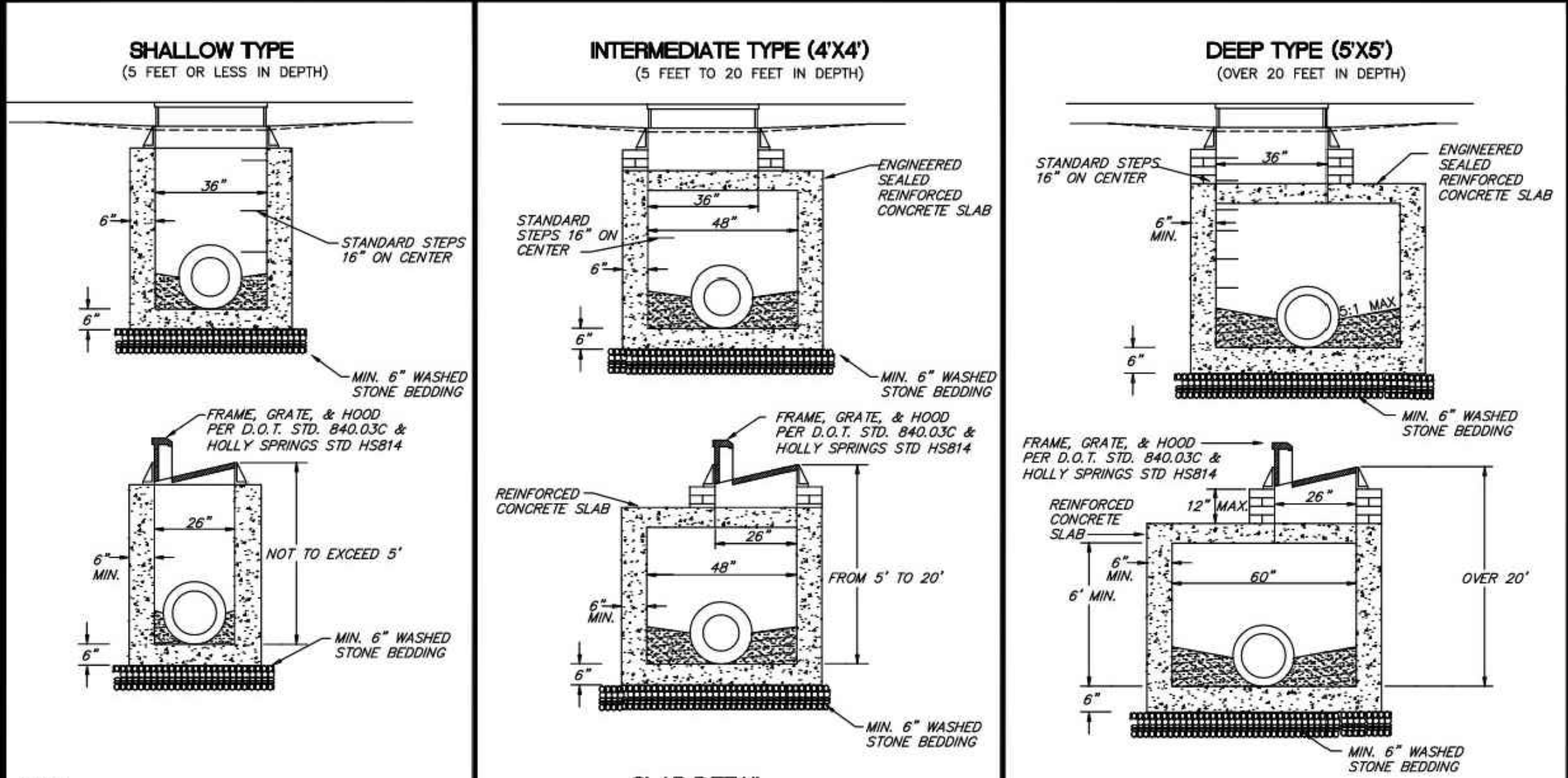
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DATE REVISIONS
7/24/09



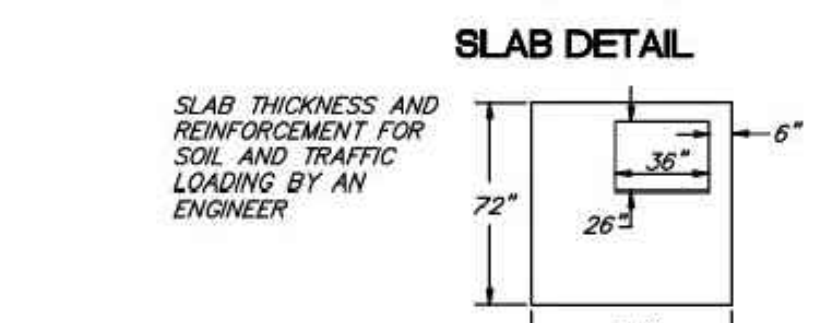
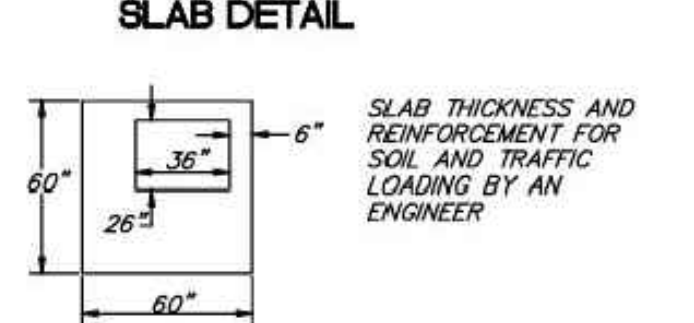
DRAWING NOT TO SCALE

PRECAST CONCRETE MANHOLE STORM DRAINAGE JUNCTION BOX  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS801
DATE REVISIONS
7/24/09



- NOTES:
1. CONCRETE SHALL BE 4000 PSI MIN. FOR ALL PRECAST CONCRETE CATCH BASINS.
  2. PRECAST CONCRETE STRUCTURES MAY ONLY BE INSTALLED TO DEPTHS CERTIFIED AS ACCEPTABLE BY THE MANUFACTURER.
  3. NO WAFFLE BOXES ALLOWED.



DRAWING NOT TO SCALE

PRECAST CONCRETE CATCH BASINS  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS805
DATE REVISIONS
7/24/09



NO.	BY	DATE	DESCRIPTION
AAA	AAA	10-02-25	CITY COMMENTS
AAA	AAA	10-31-25	CITY COMMENTS

DRAWN BY: AAA  
CHECKED BY: SCA  
DATE: 07-08-2025

**EROSION & SEDIMENTATION & POLLUTION CONTROL PLAN**  
**FOR**  
**HOLLY SPRINGS**  
**WAKE COUNTY, NORTH CAROLINA**

**OTHER CONTROLS:**

**ORDERLY CONSTRUCTION SITE:**

AN ORDERLY CONSTRUCTION SITE IS ONE OF THE FIRST STEPS TOWARDS PREVENTING STORM WATER CONTAMINATION. A CLEAN AND ORDERLY CONSTRUCTION SITE REDUCES THE POSSIBILITY OF ACCIDENTAL SPILLS, IMPROVES RESPONSE TIME IF THERE IS A SPILL AND REDUCES SAFETY HAZARDS AS WELL. THE FOLLOWING BASIC CONCEPTS SHALL BE IMPLEMENTED:

- (1) NEAT AND ORDERLY STORAGE OF ANY CHEMICALS, PESTICIDES, FERTILIZERS, FUELS, ETC., THAT ARE BEING STORED AT THE SITE
- (2) REGULAR GARBAGE, CONSTRUCTION WASTE AND SANITARY WASTE DISPOSAL OFF SITE IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS.
- (3) PROMPT CLEANUP OF ANY SPILLS THAT HAVE OCCURRED OF LIQUID OR DRY MATERIALS
- (4) PROMPT CLEANUP OF ANY SEDIMENTATION THAT HAS OCCURRED ONTO NEARBY ROADWAYS WASTE DISPOSAL:

**PROPER MANAGEMENT AND DISPOSAL OF BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES SHALL INCLUDE:**

- (1) SELECT A DESIGNATED WASTE COLLECTION AREA ON SITE
- (2) PROVIDE AN ADEQUATE NUMBER OF CONTAINERS WITH LIDS OR COVERS THAT CAN BE PLACED OVER THE CONTAINER PRIOR TO A RAINFALL EVENT
- (3) WHEN POSSIBLE, LOCATE CONTAINERS IN A COVERED AREA
- (4) WASTE COLLECTION AND DISPOSAL SHOULD OCCUR BEFORE THE CONTAINERS OVERFLOW
- (5) ENSURE THAT CONSTRUCTION WASTE IS COLLECTED, REMOVED AND DISPOSED OF ONLY AT AUTHORIZED DISPOSAL AREAS
- (6) PROVIDE IMMEDIATE CLEANUP OF CONTAINERS THAT OVERFLOW OR IF A SPILL OCCURS
- (7) PROVIDE DAILY INSPECTIONS OF WASTE COLLECTION AREAS.

**HAZARDOUS PRODUCTS:**

MATERIALS WHICH SHOULD BE CONSIDERED HAZARDOUS MAY INCLUDE BUT ARE NOT LIMITED TO: (PAINTS, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND PETROLEUM PRODUCTS)

**PROPER MANAGEMENT AND DISPOSAL PRACTICES OF HAZARDOUS MATERIALS SHALL INCLUDE:**

- (1) CHECK WITH LOCAL WASTE MANAGEMENT AUTHORITIES TO DETERMINE WHAT THE REQUIREMENTS ARE FOR DISPOSING OF HAZARDOUS MATERIALS
- (2) USE ALL OF THE PRODUCT BEFORE DISPOSING OF THE CONTAINER
- (3) DO NOT REMOVE THE ORIGINAL PRODUCT LABEL FROM THE CONTAINER
- (4) DO NOT MIX PRODUCTS TOGETHER UNLESS SPECIFICALLY RECOMMENDED BY THE MANUFACTURER
- (5) THE CORRECT METHOD OF DISPOSAL OF THESE PRODUCTS VARIES WITH THE PRODUCT USED. FOLLOW THE MANUFACTURER'S RECOMMENDED METHOD

**CONTAMINATED SOILS:**

CONTAMINATED SOILS ARE SOILS WHICH HAVE BEEN EXPOSED TO AND STILL CONTAIN HAZARDOUS SUBSTANCES. CONTAMINATED SOILS MAY BE ENCOUNTERED ONSITE DURING EARTH MOVING ACTIVITIES OR DURING THE CLEANUP OF A SPILL OR LEAK OF A HAZARDOUS PRODUCT.

CONTACT THE STATE AND LOCAL SOLID WASTE REGULATORY AGENCY CONCERNING INFORMATION AND PROCEDURES NECESSARY TO TREAT OR DISPOSE OF CONTAMINATED SOILS.

**CONCRETE TRUCKS:**

EMPTYING OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ONSITE. EXCESS CONCRETE AND WASH WATER SHOULD BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE.

**PROPER MANAGEMENT AND DISPOSAL PRACTICES OF CONCRETE TRUCK WASH OUT SHALL INCLUDE:**

- (1) DIKES SHALL BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN, AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.

**SANITARY / SEPTIC DISPOSAL:**

SANITARY FACILITIES FOR ONSITE PERSONNEL SHALL BE PORTABLE FACILITIES THAT STORE THE SANITARY WASTES AND SHOULD BE EMPTIED PERIODICALLY. SANITARY WASTES THAT ARE GENERATED ONSITE SHOULD BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND OR LOCAL REQUIREMENTS.

**PROPER MANAGEMENT AND DISPOSAL PRACTICES OF SANITARY / SEPTIC MATERIALS SHALL INCLUDE:**

- (1) DOMESTIC WASTE HAULERS SHOULD BE CONTRACTED TO REGULARLY REMOVE THE SANITARY AND SEPTIC WASTES AND TO MAINTAIN THE FACILITIES IN GOOD WORKING ORDER. THIS WILL PREVENT OVERLOADING OF THE SYSTEM WHICH COULD ALLOW DISCHARGES TO STORM WATER RUNOFF.
- (2) WASTES SHOULD BE TREATED TO THE APPROPRIATE LEVEL PRIOR TO DISCHARGE.
- (3) UNTREATED, RAW SEWAGE OR SEPTAGE SHOULD NEVER BE DISCHARGED OR BURIED ONSITE.

THE LOCAL AND STATE REGULATORY AGENCIES SHOULD BE CONTACTED FOR ADDITIONAL DISPOSAL REQUIREMENTS.

**POLLUTION PREVENTION NOTES AND BMP'S FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS AND:**

**A. POTENTIAL ENVIRONMENTAL IMPACTS FROM POLLUTANT SOURCES (EXISTING AND PROPOSED)**

1. VEHICLE AND/OR EQUIPMENT LEAKS, AS WELL AS FROM ANY UNEXPECTED ACCIDENTS.
2. STORAGE, HANDLING AND/OR TRANSPORTATION OF HAZARDOUS MATERIALS/CHEMICALS.
3. LOADING/UNLOADING AND/OR REFUELING/TRANSFERRING OPERATIONS OF HEAVY EQUIPMENT AND ANY OTHER FUEL OPERATED EQUIPMENT (GENERATORS, PUMPS, CHAINSAWS, ETC.) TO INCLUDE THE USE OF FUEL TANKS AND ANY OTHER TYPE OF DISPENSERS (AS APPLICABLE).
4. ASPHALT, CONCRETE AND ROCK CRUSHER OPERATIONS.

SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) REQUIREMENTS: DURING THE IMPLEMENTATION (CONSTRUCTION/OPERATION) PHASE(S) OF THIS PROJECT, THE CONTRACTOR AND/OR PROPONENT MUST HAVE A SPCC PLAN, AND FOLLOW ALL DEPARTMENT OF TRANSPORTATION (DOT) REGULATIONS ASSOCIATED WITH TRANSPORTATION OF ANY HAZARDOUS MATERIALS. STORAGE OF HAZARDOUS MATERIAL/CHEMICALS AND WASTE MUST COMPLY WITH APPLICABLE REGULATIONS, INCLUDING SECONDARY CONTAINMENT AS REQUIRED. DRIP PANS SHOULD BE AVAILABLE FOR VEHICLES AND EQUIPMENT TO PREVENT OIL AND OTHER PETROLEUM PRODUCTS FROM SPILLING ONTO THE SOIL OR WATER. SECONDARY CONTAINMENT IS REQUIRED FOR ANY REFUELING/TRANSFERRING ACTIVITIES.

STORAGE AREAS FOR HAZARDOUS MATERIALS/CHEMICALS/WASTE SHOULD BE DESIGNED TO ALLOW FOR SECURE PRODUCT STORAGE, TO PROVIDE SECONDARY CONTAINMENT, AND COVERED.

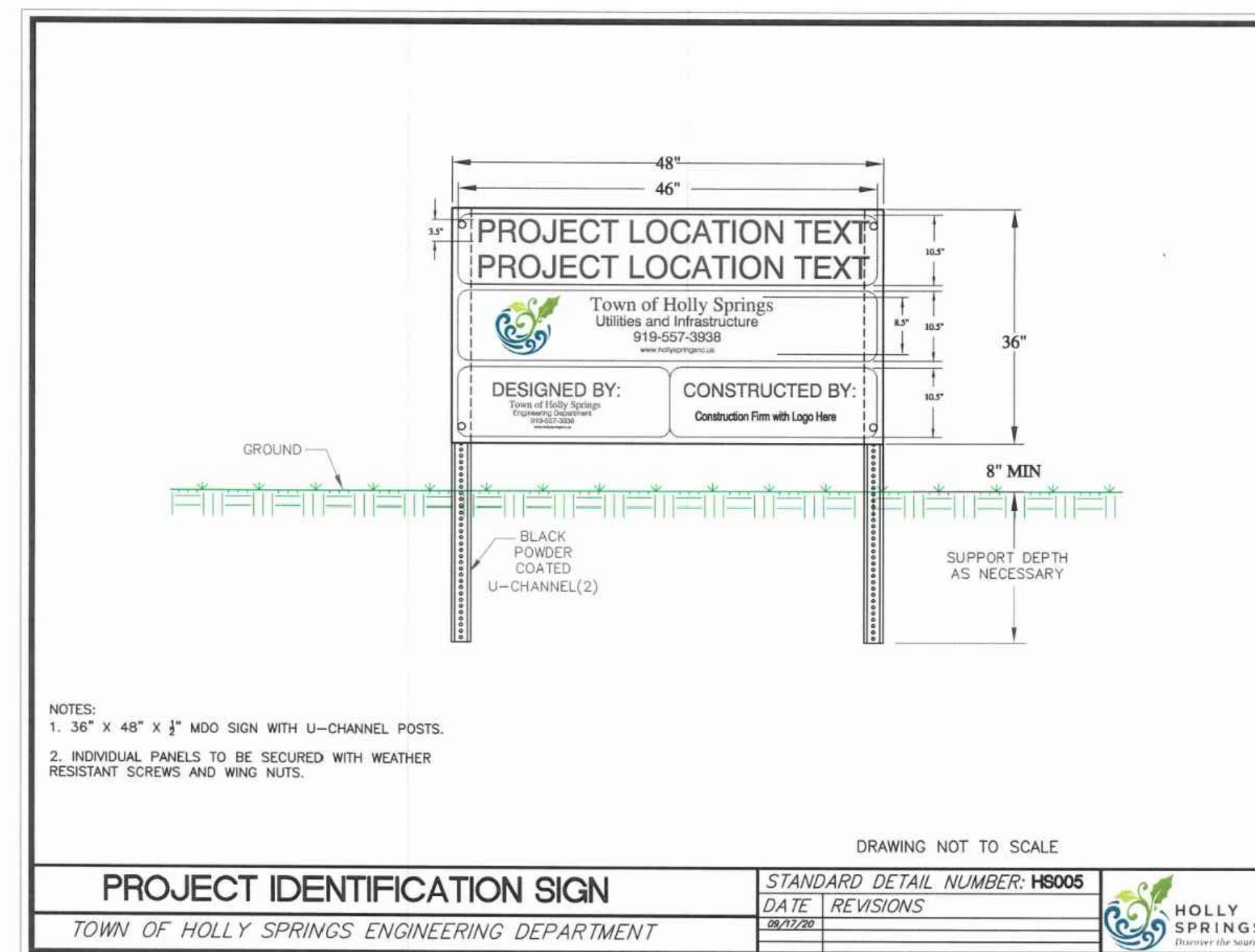
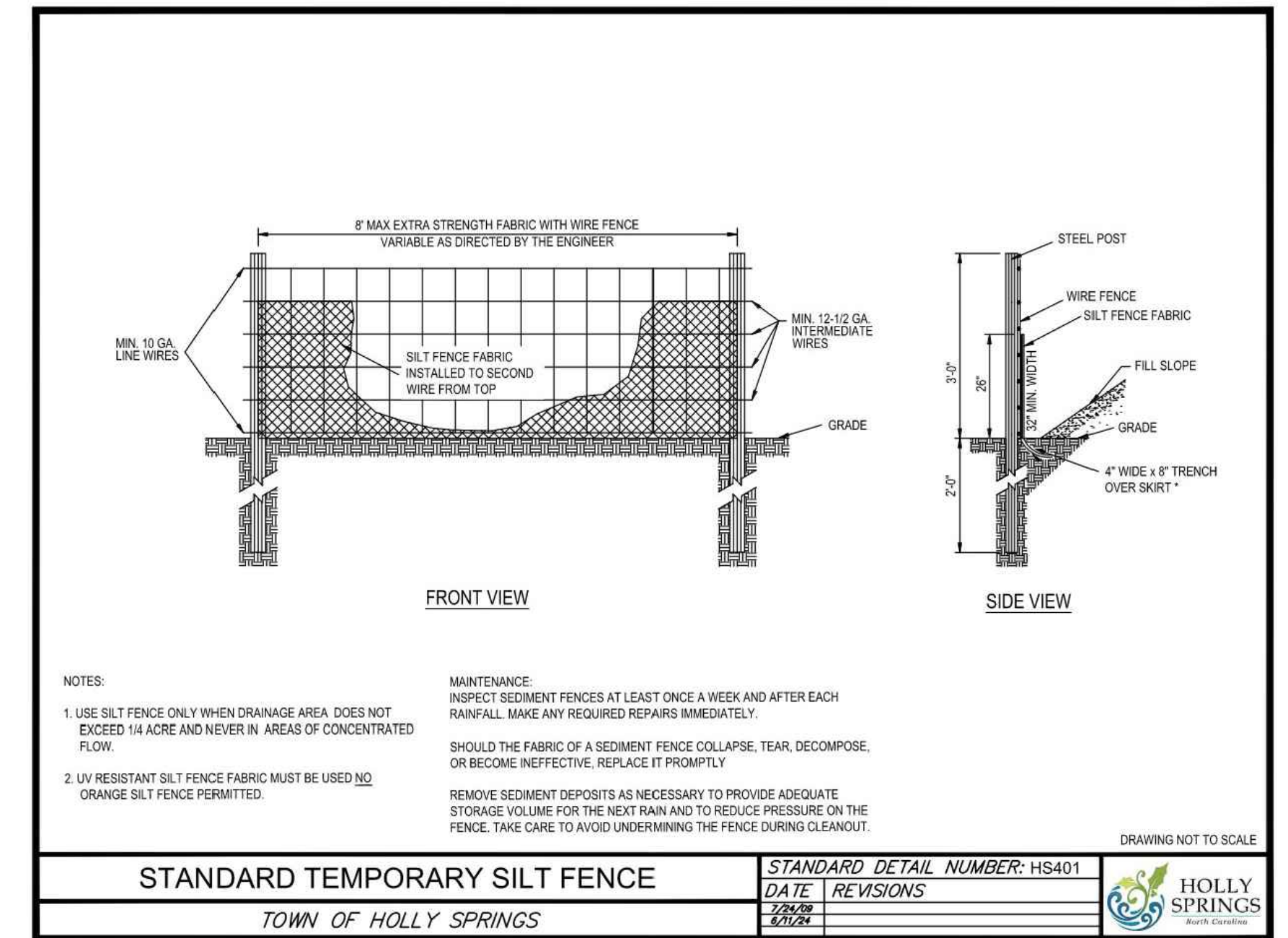
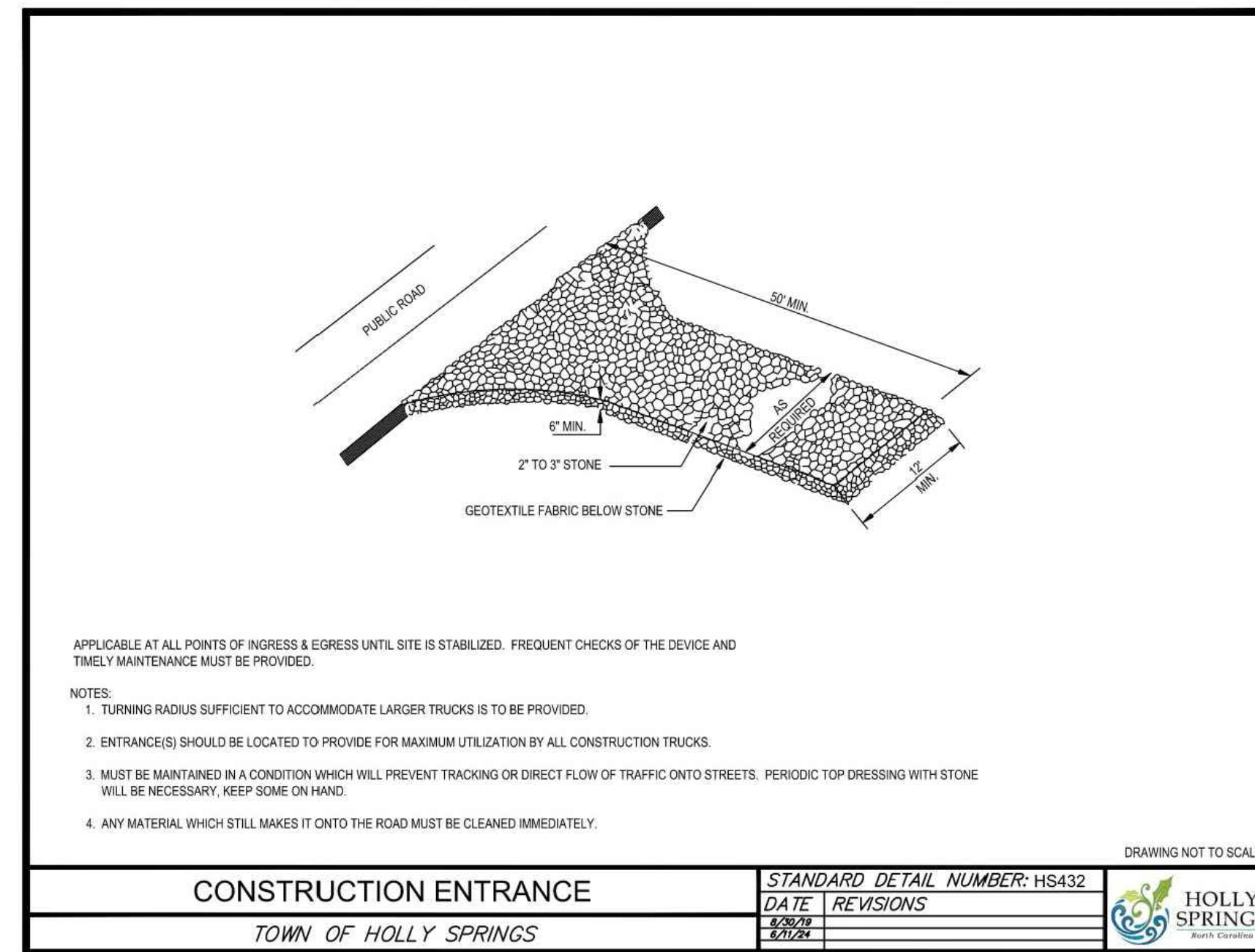
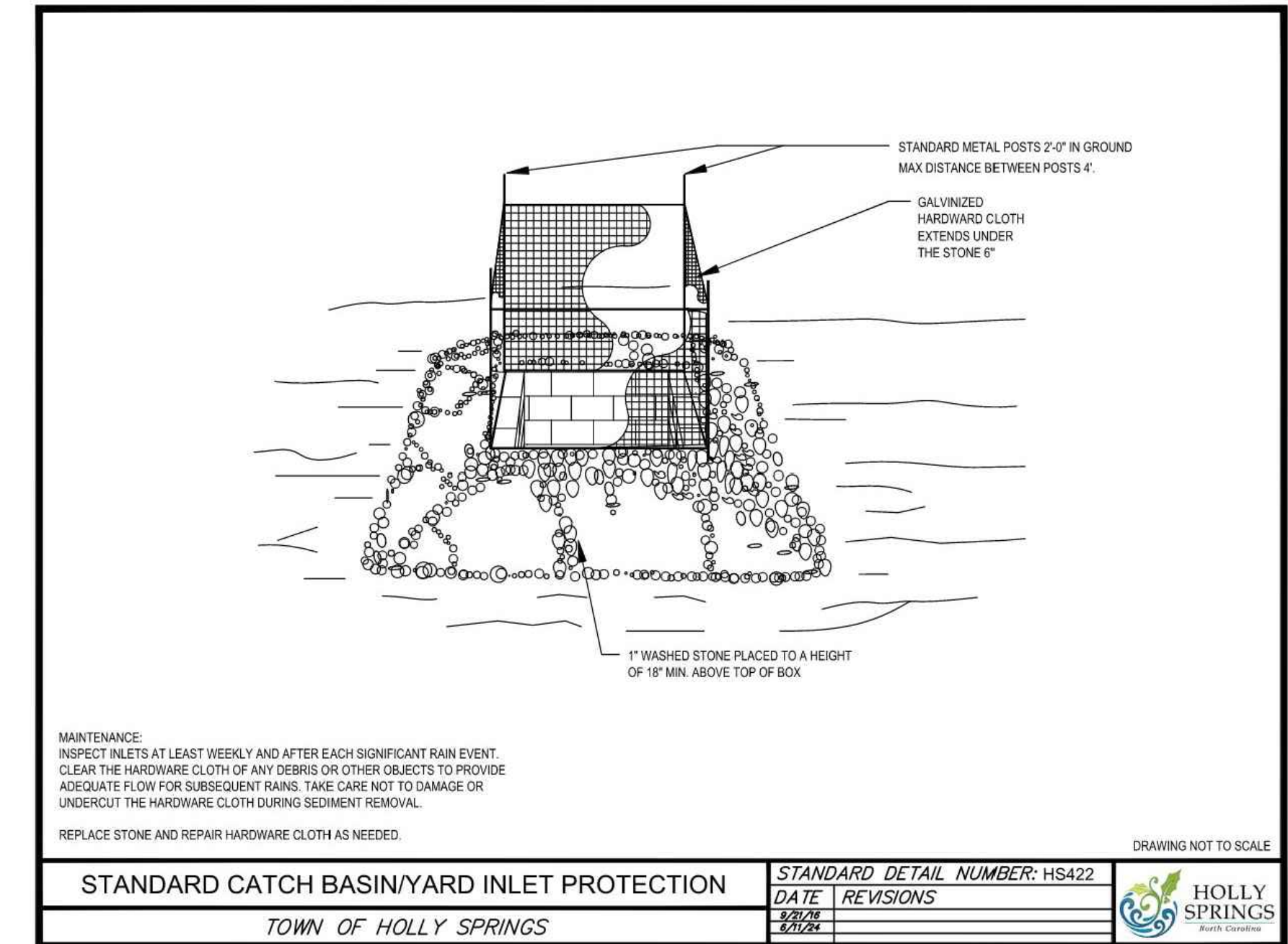
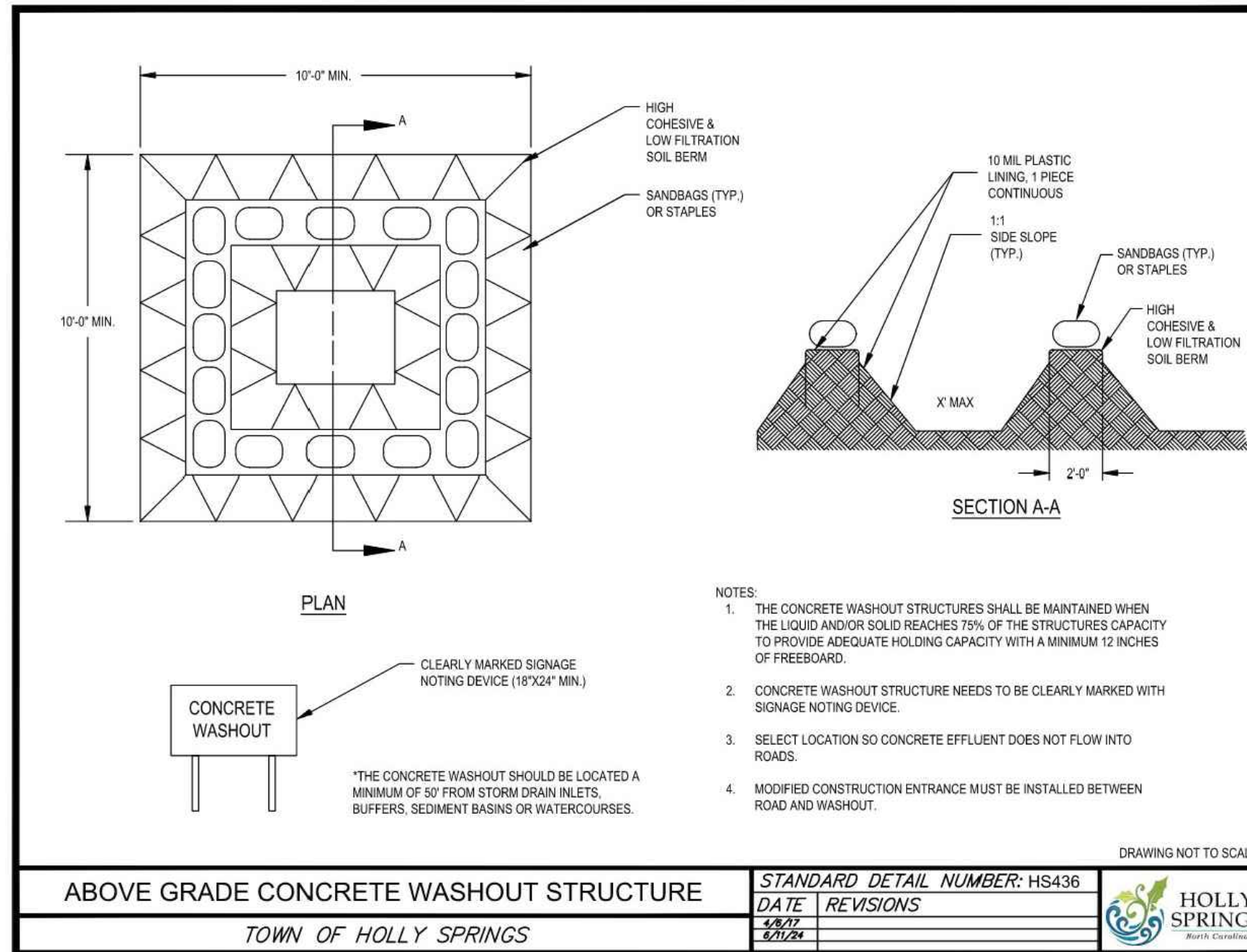
A HAZARDOUS MATERIAL INVENTORY AND MSDS SHOULD BE KEPT ON RECORD AT ALL TIMES FOR SPCC/ISCP AND EPCRA REQUIREMENTS. THE INVENTORY MUST INCLUDE ALL PETROLEUM PRODUCTS, CHEMICAL, HERBICIDES, PESTICIDES, FERTILIZERS, DETERGENTS, PAINTS AND ANY OTHER HAZARDOUS SUBSTANCES USED AND/OR STORED BY THE CONTRACTOR.

FOR WATER QUALITY: NO DEMOLITION/CONSTRUCTION WASTE OR EXCESS CONSTRUCTION MATERIALS OF ANY KIND CAN BE DUMPED TO THE SANITARY SEWER SYSTEM, THE STORM SEWER SYSTEM, OR BE DISPOSED TO THE GROUND INCLUDING PAINT, PAINT PRIMER, PAINT THINNER, PAINT STRIPPER, SOLVENTS, ACIDS, BASES, OILS, GREASES, ADHESIVES, GLUES, PASTES, SEALANTS, SOLDER, CAULKING, GROUT, PUTTY, WAXES, SHEET ROCK, INSULATION, CARPET, CARPET PADDING, ACETATE, TILE, COOLANT, CORROSION INHIBITOR, CLEANING COMPOUNDS, HERBICIDES, TERMITICIDES, FUNGICIDE, WEED KILLER, PESTICIDE.

**B. BMP'S FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS:** TO ENSURE BEST PRACTICE MANAGEMENT PRACTICES FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS ARE SUITABLE, THE PRIMARY PERMITTEE (OPERATOR/CONTRACTOR) SHALL PROVIDE AND IMPLEMENT THE FOLLOWING INSTALLATION SPILL CONTINGENCY PLAN (ISCP) REQUIREMENTS. THIS WILL ALSO MEET CAR 100001--PART II.B.1 & 2; PART IV. (II) [SECOND PARAGRAPH]; D.2.C.(1), (3), &(4); PART IV.D.3.(1); CAR 00000 IMPRES INDUSTRIAL REQUIREMENTS. THIS SECTION ALSO COVERS REQUIREMENTS FOR HAZARDOUS WASTE AND PEST MANAGEMENT.

- a. DESCRIPTION OF MEASUREMENTS TO REDUCE/PREVENT/MINIMIZE SPILL/RELEASE OF HAZARDOUS MATERIAL STORED AND USED AT THE SITE DURING CONSTRUCTION ACTIVITIES.
- b. LOCATION OF HAZARDOUS MATERIALS STORAGE AREAS; INCLUDING TANKS AND REFUELING OPERATIONS
- c. EMERGENCY RESPONSE AND CLEAN-UP PROCEDURES: ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL EMERGENCY RESPONSE ACTIONS AT THE SITE, TO INCLUDE REMOVAL AND DISPOSAL OF CONTAMINATED MATERIALS.

CONTRACTOR TO DESCRIBE SPECIFIC MEASUREMENTS AT THE SITE, AND TO SHOW LOCATION IN MAP. CONTRACTOR TO PROVIDE SPECIFIC INFORMATION OF THEIR EMERGENCY RESPONSE TEAM FOR CLEAN-UP IN THE ENVIRONMENTAL PROTECTION PLAN (EPP). ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY.



**Practice Standards and Specifications**

NO.	BY	DATE	DESCRIPTION
6.84	AAA	10-02-25	6.84
6.84	AAA	10-31-25	6.84

**DUST CONTROL**

**Definition:** The control of dust resulting from land-disturbing activities.

**Purpose:** To prevent surface and air movement of dust from disturbed soil surfaces that may cause off-site damage, health hazards, and traffic safety problems.

**Conditions Where Practice Applies:** On construction routes and other disturbed areas subject to surface dust movement, and dust blowing where off-site damage may occur if dust is not controlled.

**Planning Considerations:** Construction activities that disturb soil can be a significant source of air pollution. Large quantities of dust can be generated, especially in "heavy" construction activities such as land grading for road construction and commercial, industrial, or subdivision development.

**Maintenance:** In planning for dust control, it is important to schedule construction operations so that the least area is disturbed at one time. Leave undisturbed buffer areas between graded areas wherever possible. The greatest dust problems occur when the probability of rainfall erosion is least. Therefore, do not expose large areas of soil, especially during drought conditions. Install temporary or permanent surface stabilization measures immediately after completing land grading.

**Design Criteria:** No formal design procedure is given for dust control. See Construction Specifications below for the most common dust control methods.

**Construction Specifications:** Vegetative cover - For disturbed areas not subject to traffic, vegetation provides the most practical method of dust control (Reference: Surface Stabilization).  
 Match (including gravel mat) - When properly applied, match offers a fast, effective means of controlling dust.  
 Spray-on adhesive - Examples of spray-on adhesives for use on mineral soils are presented in Table 6.84a.

Table 6.84a	Water Dilution	Type of Nozzle	Apply Gallons/Acre
Anionic asphalt emulsion	7:1	Coarse Spray	1,200
Latex emulsion	12.5:1	Fine Spray	235
Resin in water	4:1	Fine Spray	300

**Calcium chloride** may be applied by mechanical spreader as loose, dry granules or flakes at a rate that keeps the surface moist, but not so high as to cause water pollution or plant damage.

**Sprinkling** - The site may be sprinkled until the surface is wet. Sprinkling is especially effective for dust control on haul roads and other traffic routes.

**Stake** used to stabilize construction roads can also be effective for dust control.

**Barriers** - A board fence, wind fence, sediment fence, or similar barrier can control air currents and blowing soil. Place barriers perpendicular to prevailing air currents at intervals about 15 times the barrier height. Where dust is a known problem, preserve windbreak vegetation.

**Tillage** - Deep plow large open undisturbed areas and bring clods to the surface. This is a temporary emergency measure that can be used as soon as soil blowing starts. Begin plowing on the windward edge of the site.

**Maintenance:** Maintain dust control measures through dry weather periods until all disturbed areas have been stabilized.

**References:** Surface Stabilization  
 6.10, Temporary Seeding  
 6.11, Permanent Seeding  
 6.14, Mulching  
 Other Related Practices  
 6.80, Construction Road Stabilization

**DRAWN BY:** AAA  
**CHECKED BY:** SCA  
**DATE:** 07-08-2025  
**SHEET TITLE:** EROSION CONTROL CONSTRUCTION DETAILS  
**SHEET NUMBER:** C-12.0

**HGA**  
 HAINES GIPSON & ASSOCIATES  
 Civil - Structural - Bridge

SEAL  
 NORTH CAROLINA PROFESSIONAL SEAL  
 29780  
 JIM NICKS  
 CIVIL ENGINEER  
 CL# 14251

**JIM 'N NICKS' COMMUNITY BAR-B-Q**

**HOLLY SPRINGS JIM 'N NICKS'**  
 115 GRAND HILLS PLACE  
 HOLLY SPRINGS, NC 27540

A PROJECT OF:

NO.	BY	DATE	DESCRIPTION
6.84	AAA	10-02-25	6.84
6.84	AAA	10-31-25	6.84

**DRAWN BY:** AAA  
**CHECKED BY:** SCA  
**DATE:** 07-08-2025  
**SHEET TITLE:** EROSION CONTROL CONSTRUCTION DETAILS  
**SHEET NUMBER:** C-12.0

HGA JOB No. 2025-1262

TABLE 4.1  
SEEDING EROSION CONTROL SCHEDULE  
(MAXIMUM SLOPE 3:1)

DATE**	TYPE	PLANTING RATE
AUGUST 15 – NOVEMBER 1	TALL FESCUE OR HARD FESCUE	300 LBS/ACRE
NOVEMBER 1 – MARCH 1	TALL FESCUE AND ABRUZZI RYE OR ANNUAL RYE	300 LBS/ACRE
MARCH 1 – APRIL 15	TALL FESCUE OR HARD FESCUE	300 LBS/ACRE
MARCH 1 – JULY 15	HULLED COMMON BERMUDA GRASS OR HYBRID BERMUDA GRASS OR CENTIPEDE GRASS OR ZOYSIA GRASS OR ST. AUGUSTINE GRASS	200 LBS/ACRE
APRIL 15 – JUNE 30	WEeping LOVE GRASS OR BAHIA GRASS	25 LBS/ACRE
JULY 15 – AUGUST 15	TALL FESCUE, AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRID*	35 LBS/ACRE

\*Temporary – Reseed according to optimum season for desired vegetation. Do not allow temporary cover to grow over 12 inches in height before mowing to keep fescue from being shaded out.  
 \*\*Seeding dates will vary depending on weather conditions (e.g. temperature, rainfall, etc.)  
 Note on maintenance: refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.  
 RIPARIAN AREAS TO BE RESEED WITH NATIVE GRASS MIX/ VEGETATION

SEEDING EROSION CONTROL SCHEDULE – TABLE 4.1  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS429	
DATE	REVISIONS
9/21/16	



TABLE 4.2  
SEEDING EROSION CONTROL SCHEDULE  
SLOPES (3:1 AND 2:1 – NOT MOWED)

DATE	TYPE	PLANTING RATE
MARCH 1 – JUNE 1	SERICEA LESPEDEZA (SCARIFIED), AND	50 LBS/ACRE
MARCH 1 – APRIL 15	ADD TALL FESCUE, OR	120 LBS/ACRE
MARCH 1 – JUNE 30	ADD WEeping LOVEGRASS, OR	10 LBS/ACRE
MARCH 1 – JUNE 30	ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUNE 1 – SEPTEMBER 1	TALL FESCUE, AND ADD BROWNTOP MILLET,* OR ADD SORGHUM-SUDAN HYBRIDS*	120 LBS/ACRE 25 LBS/ACRE 30 LBS/ACRE
SEPTEMBER 1 – MARCH 1	SERICEA LESPEDEZA (UNHULLED-UNSCARIFIED), AND ADD TALL FESCUE, AND ADD ABRUZZI RYE AND ANNUAL RYE	70 LBS/ACRE 120 LBS/ACRE 25 LBS/ACRE

\*For temporary seeding purposes.  
 Note on maintenance: refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.  
 RIPARIAN AREAS TO BE RESEED WITH NATIVE SEED MIX.

SEEDING EROSION CONTROL SCHEDULE – TABLE 4.2  
TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT

STANDARD DETAIL NUMBER: HS430	
DATE	REVISIONS
9/21/16	



DRAWING NOT TO SCALE

DATE: \_\_\_\_\_ PAGE: \_\_\_\_\_

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

Seeding Mixture Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

**Seeding Dates**  
 Mountains—Above 2500 feet: Feb. 15 - May 15  
 Below 2500 feet: Feb. 1 - May 1  
 Piedmont—Jan. 1 - May 1  
 Coastal Plain—Dec. 1 - Apr. 15

**Mulch**  
 Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**Maintenance**  
 Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

Seeding Mixture Species	Rate (lb/acre)
German millet	40

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

**Seeding Dates**  
 Mountains — May 15 - Aug. 15  
 Piedmont — May 1 - Aug. 15  
 Coastal Plain — Apr. 15 - Aug. 15

**Mulch**  
 Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**Maintenance**  
 Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL

Seeding Mixture Species	Rate (lb/acre)
Rye (grain)	120

**Seeding Dates**  
 Mountains—Aug. 15 - Dec. 15  
 Coastal Plain and Piedmont — Aug. 15 - Dec. 31

**Mulch**  
 Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**Maintenance**  
 Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

SEED BED PREPARATION:

**LIMING-** Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1-1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.  
**FERTILIZER-** Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700 - 1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.  
**SURFACE ROUGHENING-** If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniformly fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.



TEMPORARY SEEDING

Effective Date: 9/1/2023  
 In accordance with the 2013 Design Manual Updates

DATE: \_\_\_\_\_ PAGE: \_\_\_\_\_

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

SEEDING MIXTURE

Species	Rate
Centipede	5 lbs/acre
Indian Woodoats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre

\*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

**Seeding Dates**  
 Coastal or Eastern Piedmont for Centipede- Sept. 1 - May 1  
 Coastal and Piedmont for Indian Woodoats and Virginia Wild Rye- Feb 15 - April 1  
 Mountains for Indian Woodoats and Virginia Wild Rye- March 1 - May 15

**Maintenance:**  
 Significant maintenance may be required to obtain desired cover.

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR SUMMER

SEEDING MIXTURE

Species	Rate
Indian Woodoats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre*

\*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

**Seeding Dates**  
 Mountains - July 15- Aug 15  
 Piedmont - Aug 15 - Oct 15

**Maintenance:**  
 Indian Woodoats and Virginia Wild Rye are both sun and shade tolerant.

SEED BED PREPARATION:

**LIMING-** Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.  
**FERTILIZER-** Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.  
**SURFACE ROUGHENING-** If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniformly fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

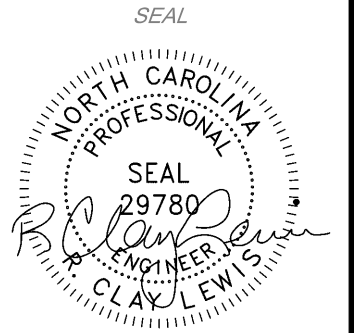
NOTES:

1. Permanent seeding, sodding or other means of stabilization are required when all construction work is completed according to the NPDES timeframes table.
2. A North Carolina Department of Agriculture soils test (or equal) is highly recommended to be obtained for all areas to be seeded, sprigged, sodded or planted.
3. Use a seeding mix that will produce fast-growing nurse crops and includes non-invasive species that will eventually provide a permanent groundcover. Soil blankets may be used in lieu of nurse crops. Mat, tack or crimp mulch, as needed to stabilize seeded areas until root establishment. Mulch must cover at least 80% of the soil surface.
4. Ground cover shall be maintained until permanent vegetation is established and stable against accelerated erosion.



PERMANENT SEEDING

Effective Date: 9/1/2023  
 In accordance with the 2013 Design Manual Updates



JIM 'N NICK'S  
COMMUNITY  
BAR-B-Q

HOLLY SPRINGS  
JIM 'N NICKS  
115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

NO.	BY	DATE	DESCRIPTION
AAA	AAA	10/02/25	CITY COMMENTS
AAA	AAA	10/31/25	CITY COMMENTS

DRAWN BY: AAA  
 CHECKED BY: SCA  
 DATE: 07-08-2025  
 SHEET TITLE: EROSION CONTROL CONSTRUCTION DETAILS  
 SHEET NUMBER: C-12.1



MLD STUDIO  
Landscape Architecture

51 old canton street  
alpharetta, ga 30009  
770.442.8171

CLIENT:

JIM 'N NICK'S  
COMMUNITY  
BAR-B-Q

HOLLY SPRINGS - JIM 'N NICK'S

115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

PROJECT INFORMATION:



REVISION SCHEDULE:

NO.	DATE	BY	DESCRIPTION
1	8/27/25	MB	comment
2	10/1/25	MB	new site plan/comments
3	10/28/25	MB	comments

MLD PROJECT #: 2025138  
DRAWN BY: MB  
CHECKED BY: ADN  
DATE: 6/26/25

Landscape Plan

PERMIT

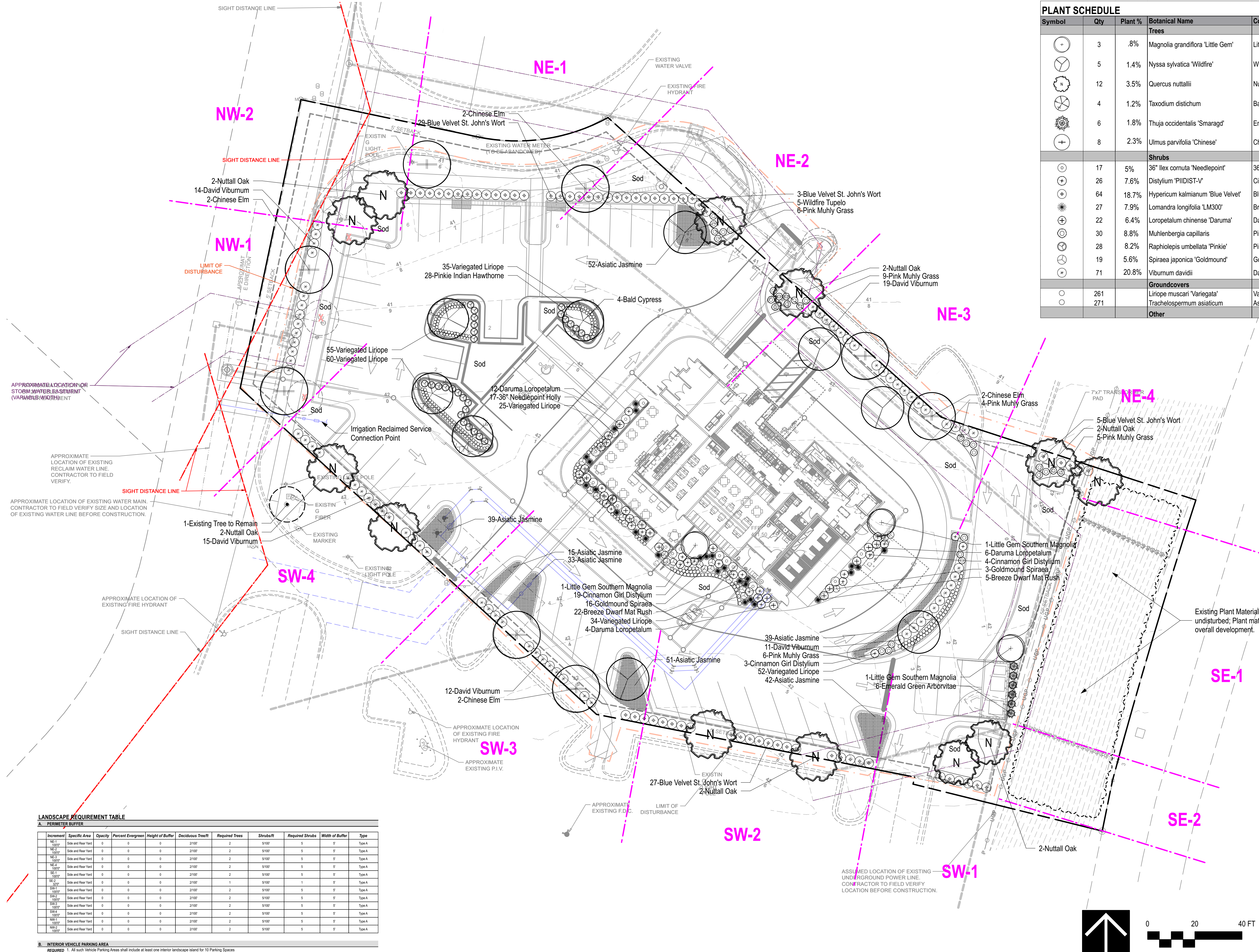
L-101

PLANT SCHEDULE

Symbol	Qty	Plant %	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>						
(+)	3	.8%	Magnolia grandiflora 'Little Gem'	Little Gem Southern Magnolia	2" Cal.; 8' Hgt.	
(/)	5	1.4%	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	3" Cal.; 12' Hgt.	B & B; single straight leader
(N)	12	3.5%	Quercus nuttallii	Nuttall Oak	3" Cal.; 12' Hgt.	B & B; single straight leader
(X)	4	1.2%	Taxodium distichum	Bald Cypress	3" Cal.; 12' Hgt.	B & B; single straight leader
(*)	6	1.8%	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	2" Cal.; 6' Hgt.	
(+)	8	2.3%	Ulmus parvifolia 'Chinese'	Chinese Elm	3" Cal.; 12' Hgt.	B & B
<b>Shrubs</b>						
(o)	17	5%	36" Ilex cornuta 'Needlepoint'	36" Needlepoint Holly	Min. 36" Hgt.	Full branching structure
(+)	26	7.6%	Distylium 'PIDIST-V'	Cinnamon Girl Distylium	Min. 24" Hgt.	
(*)	64	18.7%	Hypericum kalmianum 'Blue Velvet'	Blue Velvet St. John's Wort	Min. 24" Hgt.	Full
(*)	27	7.9%	Lomandra longifolia 'LM300'	Breeze Dwarf Mat Rush	3 gal.	
(*)	22	6.4%	Loropetalum chinense 'Daruma'	Daruma Loropetalum	Min. 24" Hgt.	
(*)	30	8.8%	Muhlenbergia capillaris	Pink Muhly Grass	3 gal.	
(*)	28	8.2%	Raphiolepis umbellata 'Pinkie'	Pinkie Indian Hawthorne	24" Hgt.	Full
(*)	19	5.6%	Spiraea japonica 'Goldmound'	Goldmound Spiraea	Min. 24" Hgt.	
(*)	71	20.8%	Viburnum davidii	David Viburnum	30" Hgt.	
<b>Groundcovers</b>						
(o)	261		Liriope muscari 'Variegata'	Variegated Liriope	1 Gal.	Plant 18" O.C.
(o)	271		Asiatic Jasmine	Asiatic Jasmine	1 Gal.	Plant 24" O.C.
<b>Other</b>						

GENERAL LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Details and Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- Contractor is responsible for understanding and adhering to all constraints and limits of the site ie: Code requirements as stated on the landscape plan, minimum plant sizes reflected on the plant schedule, property boundaries, limits of disturbance, easements and buffers.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- Tree protection areas to be protected from sedimentation.
- Tree protection fencing shall be inspected daily; repair or replaced as needed.
- No parking, storage or other construction activities shall occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil. Minimum 4" depth of topsoil shall be added to all planting and sodded areas. Graded areas shall be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- Remove debris, gravel, rock, and media not suitable for planting from all parking lot islands. Fracture/loosen subgrade to a min. 24" depth and ensure proper drainage is achieved; complete water per test. Add planting mix to achieve desired soil elevation; refer to landscape specifications and landscape detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil (if provided by the General Contractor), and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the landscape plans shall be approved by the Landscape Architect or Owners Representative.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1/2" inch in diameter, prior to adding topsoil and planting shrubs.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately. Roll and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched or metal edging installed; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod; Fertilize as recommended.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 4 inch layer of mulch. Mulch shall be black, double shredded hardwood mulch, or as otherwise desired by the Owners Rep. Mulch must be pulled away from all tree trunks and shrub stems a minimum 4".
- Planting holes to be dug a minimum of twice the width of the root ball. Set plant material 2-3" above finish grade. Backfill planting pit with planting mix as specified in the Landscape Specifications.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.
- The Landscape Contractor shall guarantee all installed plants for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.



LANDSCAPE REQUIREMENT TABLE

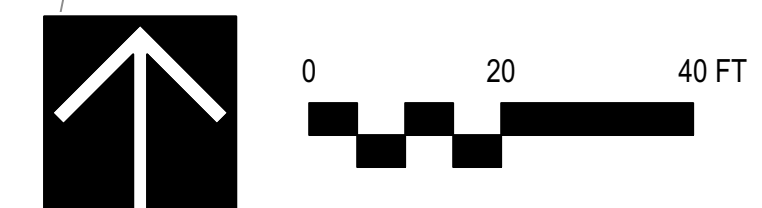
Increment	Specific Area	Opacity	Percent Evergreen	Height of Buffer	Deciduous Treeft	Required Trees	Shrub/ft	Required Shrubs	Width of Buffer	Type
NE-1	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
NE-2	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
NE-3	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
NE-4	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
SE-1	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
SE-2	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
SW-1	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
SW-2	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
SW-3	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
SW-4	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
NW-1	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A
NW-2	Side and Rear Yard	0	0	0	2100'	2	5100'	5	5'	Type A

B. INTERIOR VEHICLE PARKING AREA

- REQUIRED: 1. All such Vehicle Parking Areas shall include at least one interior landscape island for 10 Parking Spaces
- 47 parking spaces / 10 = 5 interior landscape islands
2. Interior parking islands shall be a minimum of 8 feet in width and a minimum of 17 feet in length
3. Each interior landscape island shall contain 1 Large Tree and 4 Shrubs
- 5 interior landscape islands x 1 = 5 large tree
- 5 interior landscape islands x 4 = 20 shrubs
- PROVIDED: 1. More than 5 Landscape Islands are proposed
2. The average parking islands are a minimum of 8 feet in width and a minimum of 17 feet in length
3. (4) Bald Cypress, (1) Black Gum = 5 large tree
- (20) Pinkie Indian Hawthorne = 20 shrubs

C. FOUNDATION LANDSCAPING

- REQUIRED: 1. Foundation landscaping is required along any Building facade facing a street or parking area, as well as along 25% of the adjacent facade.
- Building facade facing street: 60 LF; Building facade facing parking area: 180 LF; 100 LF x 25% = 25 LF
2. There shall be 1 Canopy Tree per 75 LF or 2 Understory Trees per 75 LF
- 300 LF building facade / 75 = 4 Canopy Trees or 8 Understory Trees
3. There shall be 1 Large Shrub per 5 LF or 1.5 Medium Shrub per 5 LF or 3 Small Shrub per 5 LF
- 300 LF building facade / 5 = 60 Large Shrubs
4. The minimum width of Foundation Landscape Area shall be 5 LF
- PROVIDED: 1. Total of 185 LF of the building facade has landscape (58% of building facade is landscaped)
2. (2) Little Gem Magnolia, (4) Bald Cypress "Located elsewhere on site"
- (25) Loropetalum, (6) Needlepoint, (22) Distylium, (19) Ligustrum = 75 Large Shrubs
4. The Foundation Landscape Area is a minimum of 5 LF



# LANDSCAPE SPECIFICATIONS

## PART 1 - GENERAL

### DESCRIPTION

Provide trees, shrubs, ground covers, sod, seed, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Top Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

### Related Work:

1. Irrigation System (If provided); see irrigation specifications

### QUALITY ASSURANCE

Plant names indicated; comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

### DELIVER, STORAGE AND HANDLING

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment in stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

### PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations; at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

### WARRANTY

Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

### ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

### CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction set.

## PART 2 - PRODUCTS

### MATERIALS

Plants: Provide typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of growth during the storage period.

1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable.
2. Container-grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
  - a. No plants shall be loose in the container.
  - b. Container stock shall not be pot bound.
3. Plants planted in rows shall be matched in form.
4. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
  - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
7. Evergreen trees shall be branched to the ground or as specified in plant list.
8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
  - a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
  - b. Single stemmed or thin plants will not be accepted.
  - c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushed to the ground.
  - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

### ACCESSORIES

Topsoil: Shall be Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. **Sod Areas:** Spread a minimum 4" layer of top soil and rake smooth.
2. **Planting bed areas:** Spread a minimum 4" layer of top soil and rake smooth.
3. **Landscape Islands/Medians:** Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing. Must ensure island have proper drainage; perk test required.
4. **Annual/Perennial bed areas:** Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on location of plantings; see plan and landscape notes for much type.

1. **Hardwood:** 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and 1/2" in width, free of wood chips and sawdust. Install minimum depth of 3". Color: Dark brown
2. **Mini Nuggets:** Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.
3. **Long Needle Pinestraw:** Pinestraw shall be fresh, rich in color, relatively clean and free of debris and other materials. Decaying, rotting, or moldy pinestraw will be rejected.
4. **Rock Mulch:** (color) light gray to buff to dark brown, washed river rock, 1" - 3" in size; or as desired by Owners Representative. Install in shrub beds to an even depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution during installation not to damage plant material. Metal edging shall be installed along all edges between rock mulch and sod and/or rock mulch and other types of mulch.

### Guying/Staking:

1. As per details.
2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

## PART 3 - EXECUTION

### INSPECTION

Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil if provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

### PREPARATION

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

### INSTALLATION

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2" - 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

### Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material; depth of mulch as noted above. **Hold mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone: (where indicated on landscape plan or as approved during installation)

1. Install weed control barrier prior to installing stone. Lap 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance and to cover all weed barrier fabric.

### Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. Wrapping:
  - a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
  - b. Overlap 1/2 the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
  - c. Secure tree wrap in place with twine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
  - d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spring.
3. Staking/Guying:
  - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
  - b. Stake deciduous trees as per details.
    1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
    2. Ties are attached to the tree, usually at the lowest branch.
    3. Guy deciduous trees as per details.
  4. **Remove all guying and staking after one year from planting.**

### Pruning:

1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

### WORKMANSHIP

During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and debris. Remove all plant tags and other debris from lawns and planting areas.

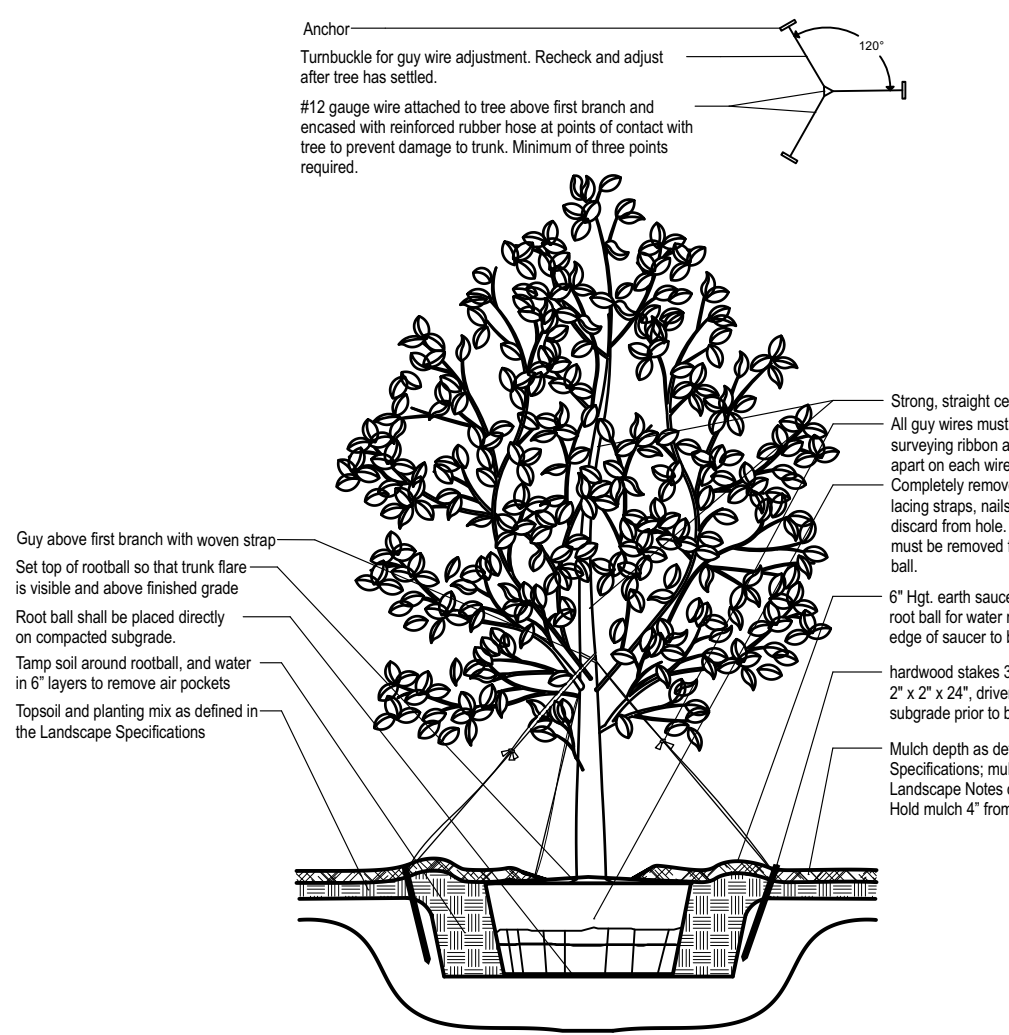
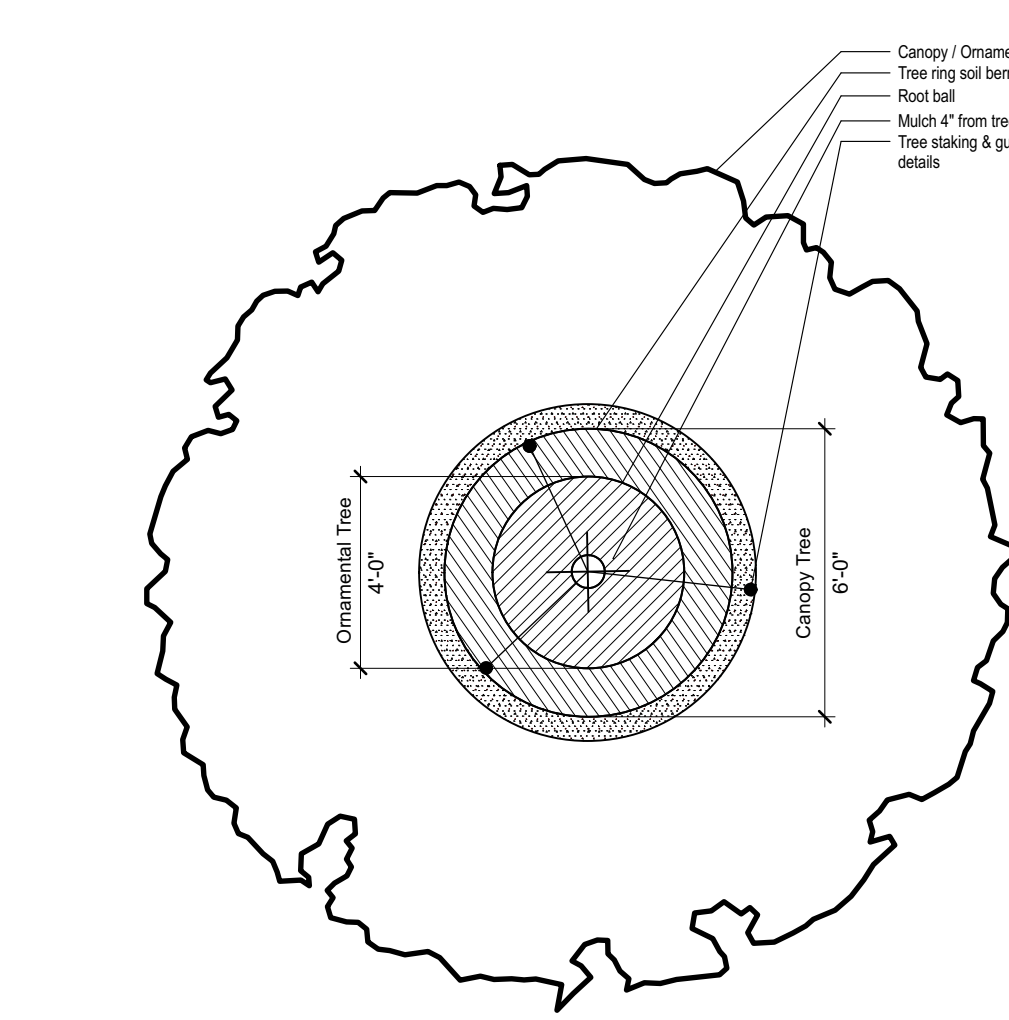
Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

### MAINTENANCE

Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

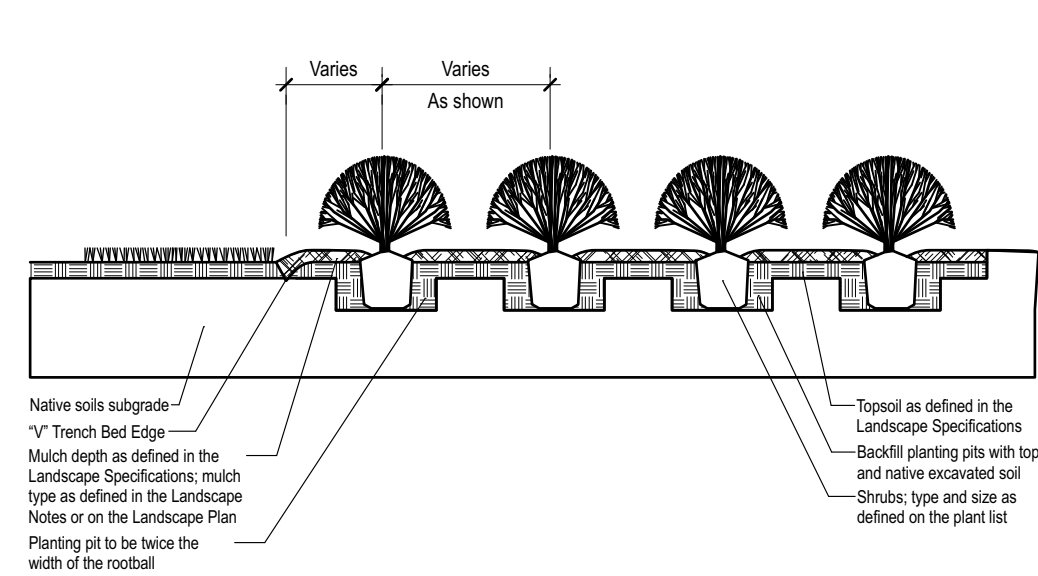
1. Re-settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. Repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.



- NOTE**
1. Hole to be twice the width of the rootball.
  2. Do not heavily grade tree at planting. Prune only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
  3. Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
  4. Remove Guy Wires and Staking when warranty period has expired (after one year).

## 1 TREE PLANTING & STAKING

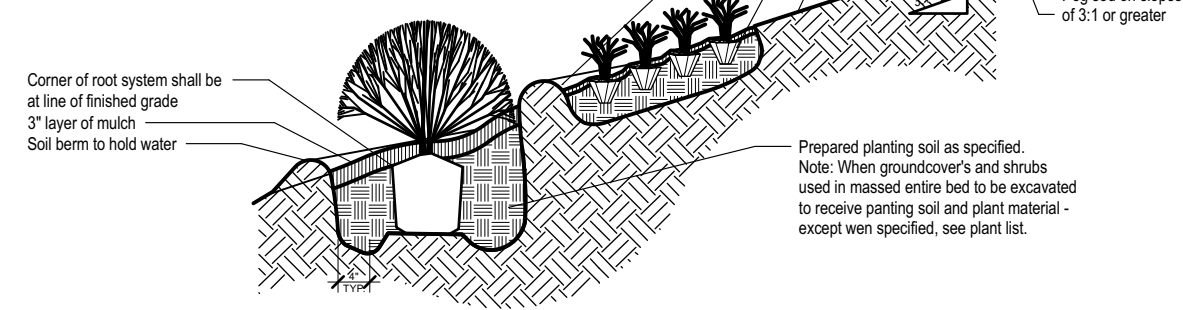
SCALE: NTS



## 2 SHRUB BED PLANTING DETAIL

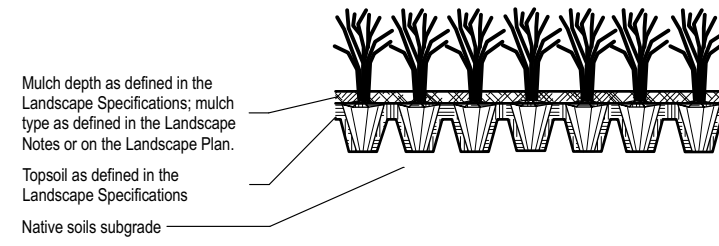
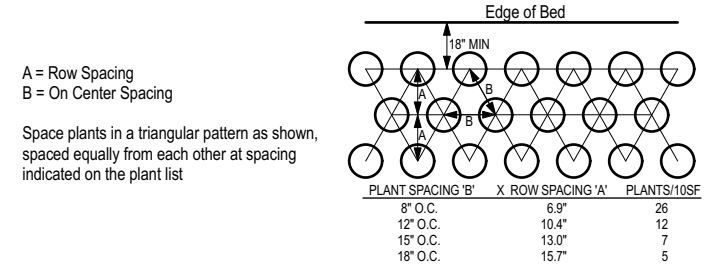
SCALE: NTS

- NOTE**
1. Contractor shall ensure permeation of all planting pits/beds prior to installation.



## 3 SLOPE PLANTING DETAIL

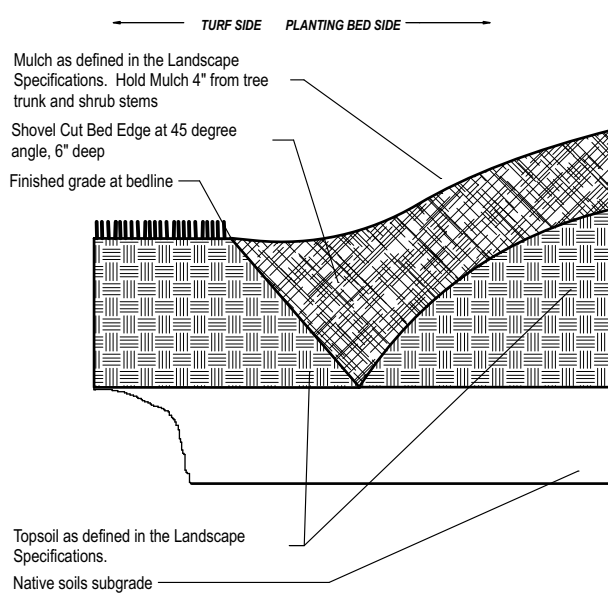
SCALE: NTS



- NOTE**
1. Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
  2. Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6" height above island curbing.
  3. Contractor to perform a water permeation test to ensure proper drainage. Amend subsoils as needed based on perc test.
  4. Island plant material as per the Landscape Plan.
  5. Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
  6. Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

## 4 GROUND COVER PLANTING DETAIL

SCALE: NTS



## 5 \"V\" TRENCH BED EDGING DETAIL

SCALE: NTS

## 6 PARKING ISLAND DETAIL

SCALE: NTS



MLD STUDIO  
Landscape Architecture

51 old canton street  
alpharetta, ga 30009  
770.442.8171

CLIENT:

JIM 'N NICK'S  
COMMUNITY  
BAR-B-Q

HOLLY SPRINGS - JIM 'N NICKS

115 GRAND HILLS PLACE  
HOLLY SPRINGS, NC 27540

PROJECT INFORMATION:



### REVISION SCHEDULE:

NO.	DATE	BY	DESCRIPTION
1	8/27/25	MB	comment
2	10/1/25	MB	new site plan/comments
3	10/28/25	MB	comments

MLD PROJECT #:	2025138
DRAWN BY:	MB
CHECKED BY:	ADN
DATE:	6/26/25

Landscape  
Specifications &  
Details

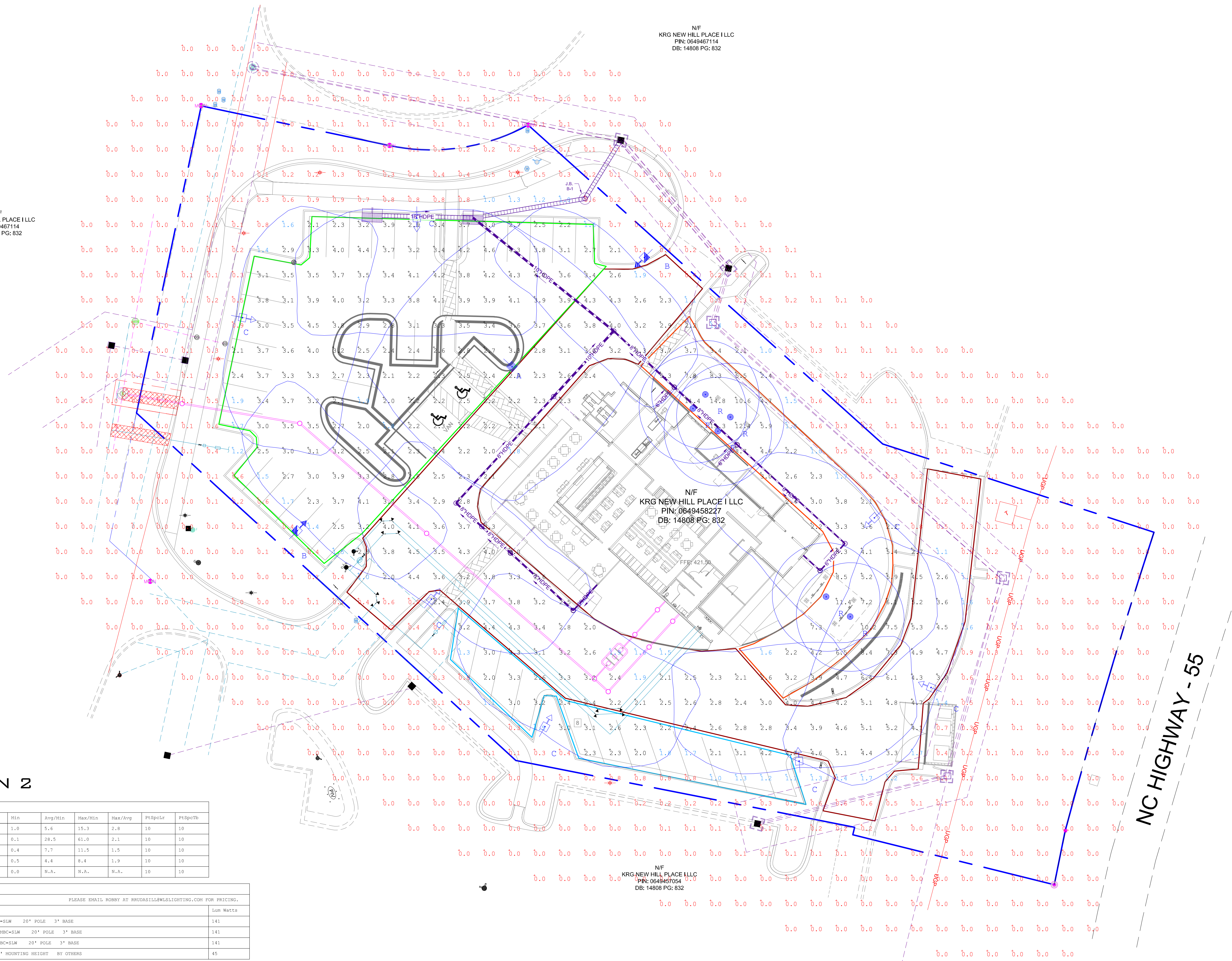
L-102

PERMIT

# REVISIONS

REV #	DATE	BY:
1	10/2/25	TO
2	10/7/25	TO
3	10/30/25	TO

N/F  
KRG NEW HILL PLACE I LLC  
PIN: 0649467114  
DB: 14808 PG: 832



## OPTION 2

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg	PtSpctr	PtSpctb
DRIVE THRU	5.6	15.3	1.0	5.6	15.3	2.8	10	10
ENTRANCES AND DRIVES	2.9	6.1	0.1	28.5	61.0	2.1	10	10
MAIN PARKING	3.1	4.6	0.4	7.7	11.5	1.5	10	10
PERIMETER PARKING	2.2	4.2	0.5	4.4	8.4	1.9	10	10
PL	0.0	0.5	0.0	N.A.	N.A.	N.A.	10	10

Symbol	Qty	Label	Lumens	LIP	Description	Lum Watts
[Symbol]	1	A	19690	0.950	WLS-CI-SS-141-4RT-5QM-SW 20' POLE 3" BASE	141
[Symbol]	2	B	9219	0.950	WLS-CI-SS-141-4RT-4F-HBC-SLM 20' POLE 3" BASE	141
[Symbol]	7	C	12640	0.950	WLS-CI-SS-141-4RT-4F-HBC-SLM 20' POLE 3" BASE	141
[Symbol]	6	R	5489	0.950	RAB-1VGT5-50L740 10' MOUNTING HEIGHT BY OTHERS	45

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

**NOTE: FURTHER COORDINATION WITH STAFF DURING THE CONSTRUCTION DRAWING PROCESS IS REQUIRED TO DETERMINED COLOR AND BASE**


6820 CORPORATION PKWY  
FORT WORTH, TX 76126  
WWW.WSLIGHTING.COM



JIM & NICKS  
HOLLY SPRINGS, NC

# REVISIONS


REV #	DATE	BY:
1	10/2/25	TO
2	10/7/25	TO
3	10/30/25	TO



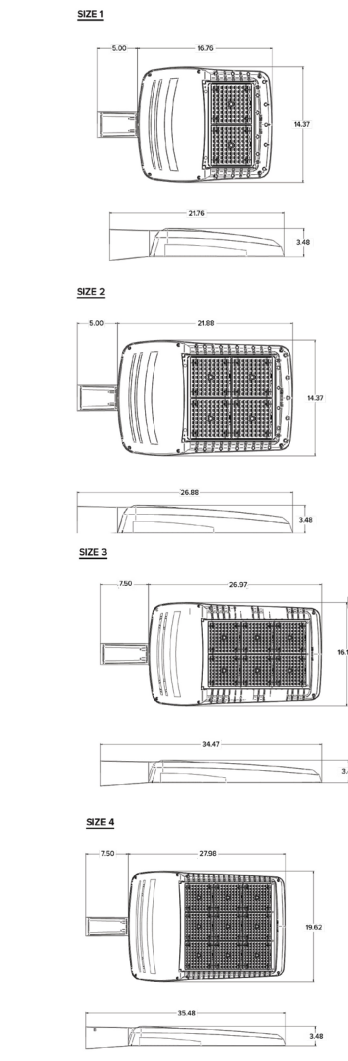
**WLS**  
LIGHTING  
SYSTEMS

Type:

## C SERIES LED AREA



**DIMENSIONS**



**FEATURES**

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may exist
- Field interchangeable mounting provides additional flexibility after the fixture has shipped

**SPECIFICATIONS**

**CONSTRUCTION**

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

**OPTICS**

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

**INSTALLATION**

- Mounting patterns for each arm can be found on page 4
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessories for square and round poles
- All mounting hardware included Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

**CERTIFICATIONS**

- DLCT (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLCT qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL 1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IES recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials Under Trade Agreements effective 04/23/2020

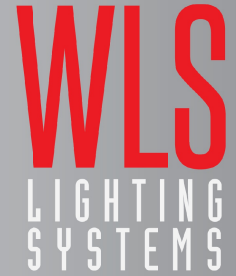
**WARRANTY**

- 5 year warranty

Project Name: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Notes: \_\_\_\_\_

**41 REV. 3/23**  
 Specifications subject to change without notice.

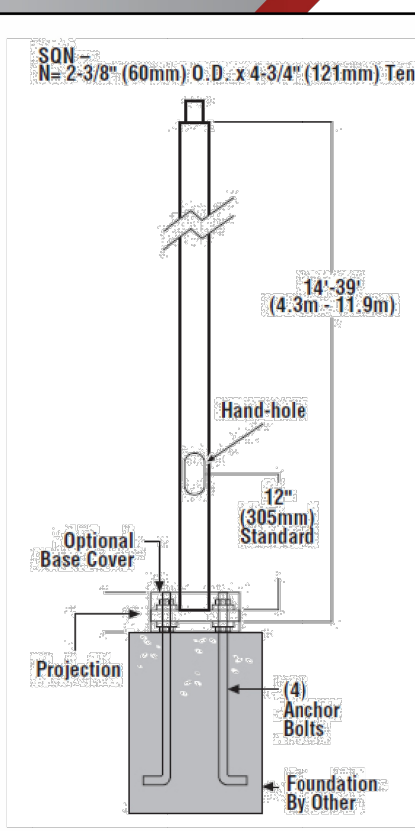
## FIXTURE A B C



**WLS**  
LIGHTING  
SYSTEMS

Type:

## SNTS SERIES SQUARE NON-TAPERED STEEL POLE



**SON =**  
 Rc 2-3/8" (60mm) O.D. x 4-3/4" (121mm) Tenon

14'-39" (4.3m - 11.9m)

Hand-hole

12" (305mm) Standard

Optional Base Cover

Projection

(4) Anchor Bolts

Foundation: By Other

SONS - SONS =  
 Bolt-On Mount  
 2-Bolt Pattern

NO =  
 No Mounting Holes

SE =  
 Self-Fixed  
 Pole Preparation

Made in the U.S.A. of the U.S. and imported parts.  
 Meets Buy American requirements for ABRA.

**WLS** LIGHTING SYSTEMS  
 1919 Windsor Place  
 Fort Worth, TX 76110  
 800.633.8711  
[www.wslighting.com](http://www.wslighting.com)

**SPECIFICATIONS**

**POLE SHAFT**  
 Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4', 5', and 6' square.

**HAND-HOLE**  
 Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole. SAGE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

**ANCHOR BOLTS**  
 Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07A Grade 55 with a minimum yield strength of 55,000 psi.

**GROUND LUG**  
 Ground lug is Standard.

**DUPLEX RECEPTACLE**  
 Weatherproof duplex receptacle is optional.

**GROUND FAULT CIRCUIT INTERRUPTER**  
 Self-testing ground fault circuit interrupter is optional.

**FINISHES**  
 Each pole is finished with Duragrip™, WLS's baked on polyester powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional Duragrip™ Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester powder finish plus an inner coating, as well as a seven-year limited warranty.

**DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:**

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed maps).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

SHIPPING WEIGHTS - SNTS Series	
4' (102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4' (102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5' (127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5' (127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6' (152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 30") (19mm x 762mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 30") (25mm x 914mm)	30 lbs. (14kg)/set

Project Name: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Notes: \_\_\_\_\_

**01 REV. 12/19**  
 Specifications subject to change without notice.

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**JIM & NICKS  
HOLLY SPRINGS, NC**

**WLS LIGHTING  
ELECTRICAL**

6820 CORPORATION PKWY  
FORT WORTH, TX 76126  
WWW.WSLIGHTING.COM



**JIM 'N NICK'S**  
COMMUNITY  
**BAR-B-Q**  
115 GRAND HILLS PL  
HOLLY SPRINGS, NC 27540

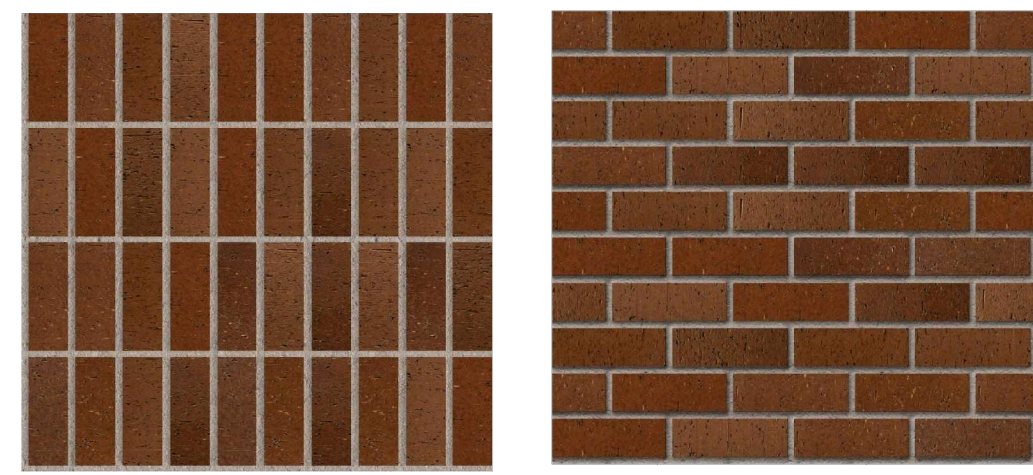
**LONNIE GENE SMITH**  
REGISTERED ARCHITECT  
9648  
NORTH CAROLINA  
RICHMOND, KY  
10-01-25



PLAN DATE: 07-25-25  
PROJECT NUMBER: 25504  
BUILDING TYPE: V3 - NEW  
DRAWN BY: WCS

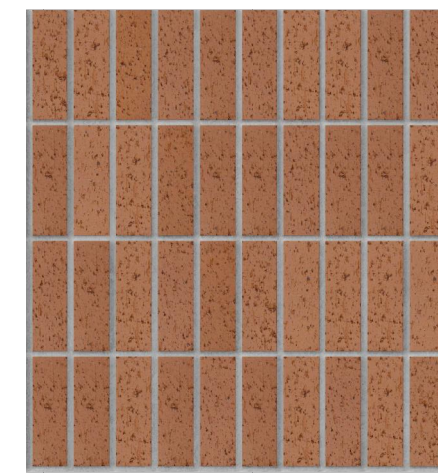
**LONNIE SMITH**  
ARCHITECT  
phone 859-771-5638  
P.O. BOX 1925  
Richmond, KY 40475

**COLOR  
RENDERINGS**  
**R1.1**



**B6 - ENDICOTT MEDIUM IRONSPOT 77  
STACKED, RUNNING BOND, STACKED BOND HEADER**

STRUCK JOINT MOTAR COOSA



**B5 ENDICOTT COPPERTONE  
STACKED**

STRUCK JOINT MOTAR COOSA



**WD- 3 Treated Columns and Beams  
Stained ZAR Sei Transparent Cedar**



**EF-1 EFIS WALL CLADDING  
PAINTED P14 ICI #A1946 LIGHTS  
OUT**



**1 FRONT EXTERIOR ELEVATION**  
A2.1 1/4" = 1'-0"

CONSTRUCTION DETAILS ALL DIMENSIONS  
AND FUTURE INFORMATION ARE  
CONTAINED ON THE ARCHITECTURAL  
DOCUMENTS  
SHEETS A2.1, A2.2

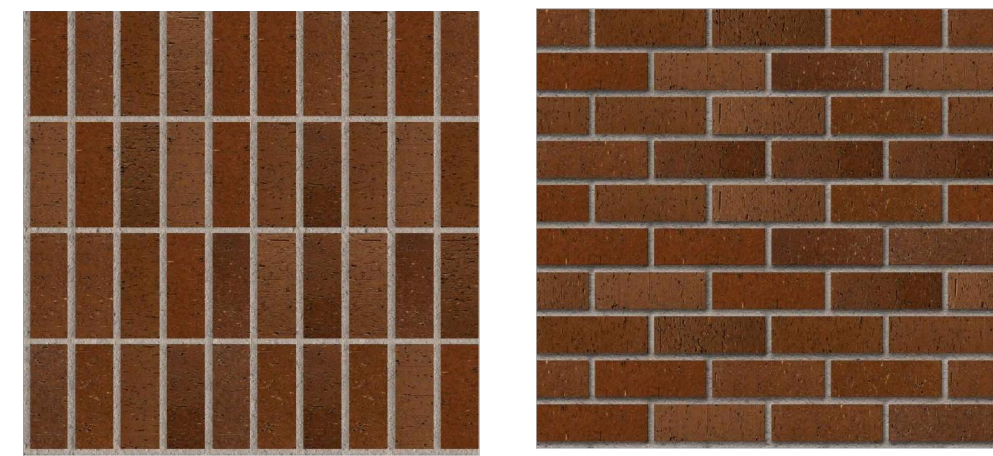


**2 RIGHT EXTERIOR ELEVATION**  
A2.1 1/4" = 1'-0"

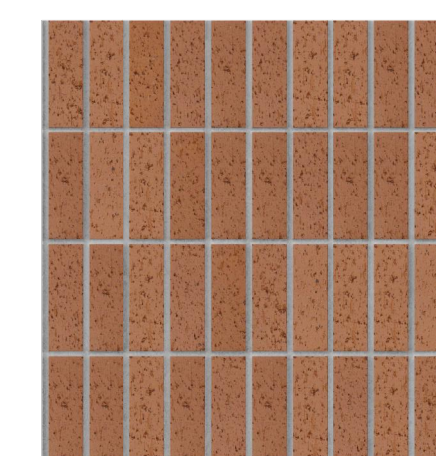

PLAN DATE:	07-25-25
PROJECT NUMBER:	25504
BUILDING TYPE:	V3 - NEW
DRAWN BY:	WCS



LA Lambo Siding



B6 - ENDICOTT MEDIUM IRONSPOT 77  
STACKED, RUNNING BOND, STACKED BOND HEADER  
STRUCK JOINT MOTAR COOSA



B5 ENDICOTT COPPERTONE  
STACKED  
STRUCK JOINT MOTAR COOSA



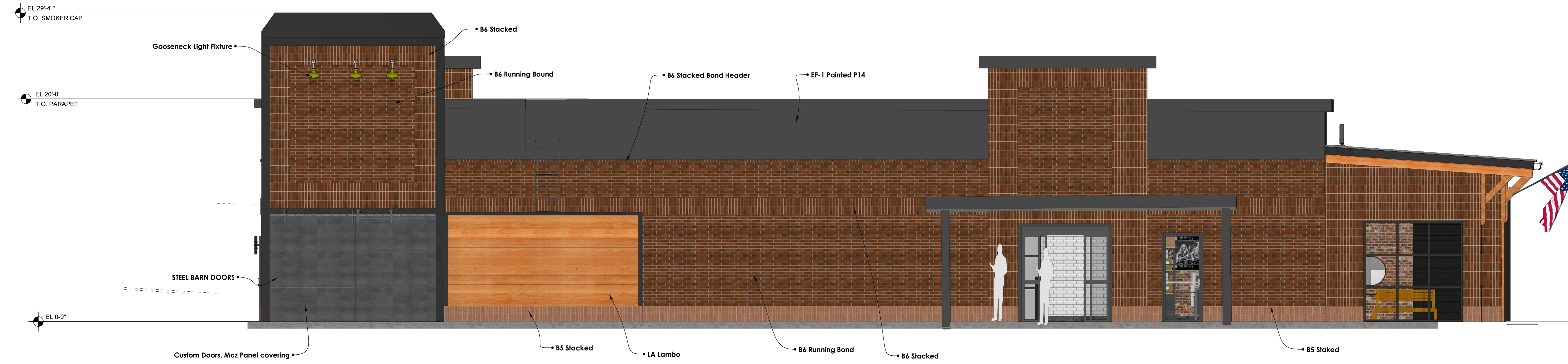
WD- 3 Treated Columns and Beams  
Stained ZAR Sei Transparent Cedar



EF-1 EFIS WALL CLADDING  
PAINTED P14 ICI #A1946 LIGHTS  
OUT



Exterior Light Fixture  
Rejuvenation "Carson"  
W/ Rosemary Shade

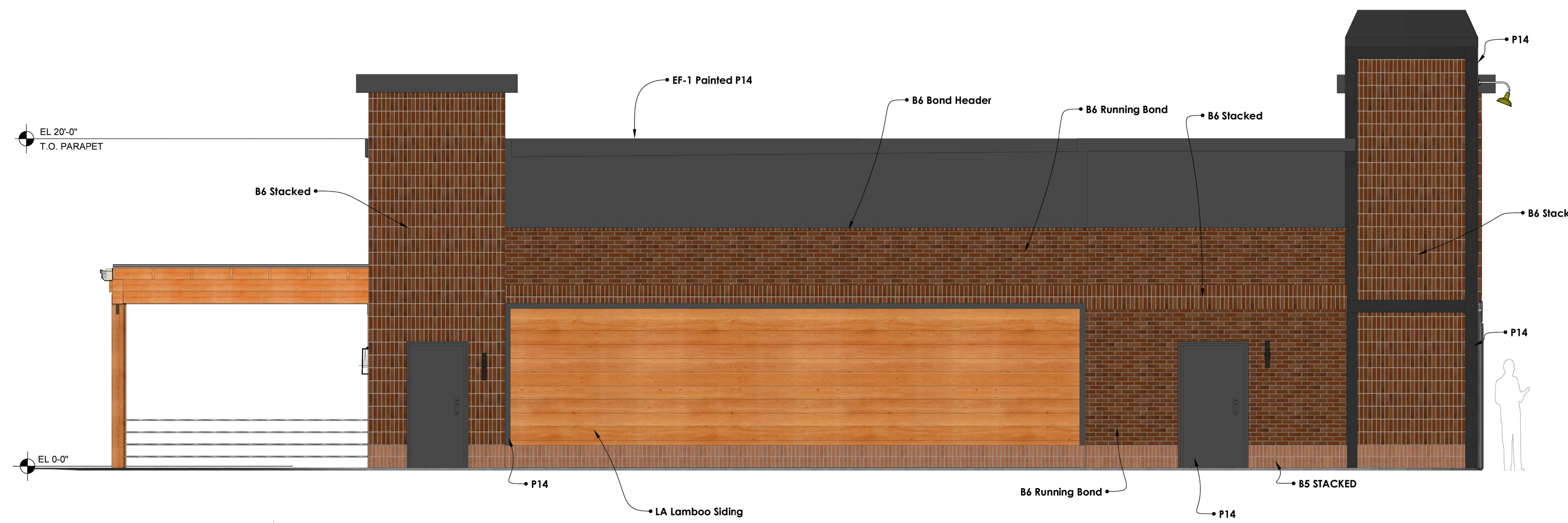


1 LEFT EXTERIOR ELEVATION  
A2.2 1/4" = 1'-0"



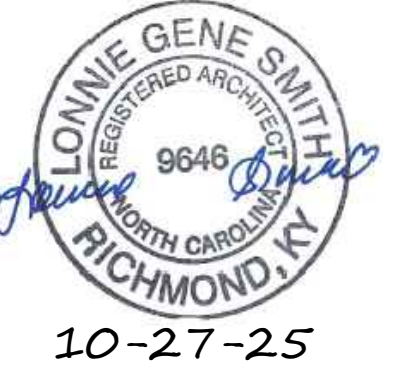
Smoker barn Doors. Maz  
Patina 212 FOG panels

CONSTRUCTION DETAILS ALL DIMENSIONS  
AND FUTHER INFORMATION ARE  
CONTAINED ON THE ARCHITECTURAL  
DOCUMENTS  
SHEETS A2.1, A2.2



2 REAR EXTERIOR ELEVATION  
A2.2 1/4" = 1'-0"

JIM NICK'S  
COMMUNITY  
BAR-B-Q  
115 GRAND HILLS PL  
HOLLY SPRINGS, NC 27540



PLAN DATE: 07-25-25  
PROJECT NUMBER: 25504  
BUILDING TYPE: V3 - NEW  
DRAWN BY: WCS

LONNIE SMITH  
ARCHITECT  
phone 859-771-5638  
P.O. BOX 1925  
Richmond, KY 40475

COLOR  
RENDERINGS  
**R1.3**



### EXTERIOR WALL LEGEND

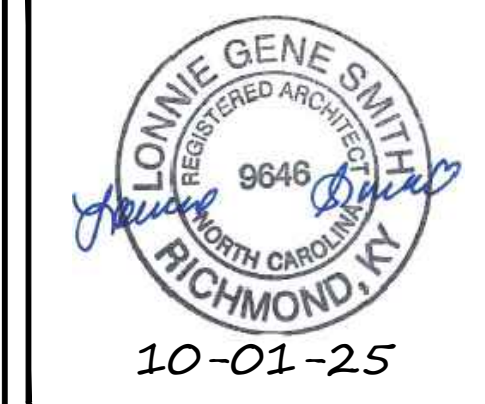
B6 - BRICK FINISH THIN BRICK RUNNING BOND OR VERTICAL STACK SEE FINISH SCHEDULE FOR COLORS	B5 - BRICK FINISH THIN BRICK VERTICAL STACK SEE FINISH SCHEDULE FOR COLORS
EF-1 - E.I.F.S. PAINTED P14 SEE FINISH SCHEDULE FOR COLORS	STANDING SEAM MTL. ROOF PETERSEN ALUM. (PAC-CLAD) SNAP-CLAD PANELS @ 18" O.C. COLOR: GALVALUME (OR EQUAL)
LA - LAMBOO BAMBOO BEAMS & SIDING SEE FINISH SCHEDULE FOR COLORS	ST-1 & ST-2 PATIO WOOD STRUCTURE TREATED WITH ZAR CEDAR SEMI-TRANSPARENT

- ### GENERAL NOTES
- G.C. SHALL REFER TO ELECTRICAL PLANS FOR LIGHTING FIXTURE QUANTITY & TYPE.
  - ALL LIGHTING FIXTURES SUPPLIED & INSTALLED BY G.C.
  - G.C. TO PROVIDE & INSTALL ALL LAMPS PLUS (1) REPLACEMENT LAMP FOR ALL LIGHTING FIXTURES. G.C. TO INSTALL LAMPS PRIOR TO BUILDING TURNOVER.
  - G.C. SHALL COORDINATE SIGNAGE INSTALLATION & LOCATIONS W/ SIGNAGE SUPPLIER & OWNER. ALL SIGNAGE BY G.C.
  - ADJACENT TO ALL WOOD TRIM - SEAL ALL EXTERIOR JOINTS W/ BUTYL SEALANT TO MATCH SURROUNDING COLOR.
  - COORDINATE W/ MECHANICAL, PLUMBING & ELECTRICAL PLANS FOR LOCATION OF ALL PENETRATIONS IN THE EXTERIOR FACADES.
  - REFER TO WINDOW & DOOR SCHEDULES SHEET.
  - REFER TO FINISH SCHEDULE PLAN FOR PAINT & STAIN COLORS.
  - SIGNS ARE NOT APPROVED W/ THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
  - EXTERIOR LIGHTING SHALL BE CUTOFF LUMINAIRES CONCEALED IN OPAQUE HOUSING & FIXTURE SHALL BE RECESSED IN HOUSING THAT THE FIXTURE LIGHTING SHALL BE DIRECTED IN TOWARD THE PROPERTY SO AS NOT TO REFLECT INTO ADJACENT PROPERTIES OR THOROUGHFARES.
  - G.C. TO PROVIDE BUILDING ADDRESS NUMBERS AS REQ'D BY FIRE MARSHALL OF LOCAL JURISDICTION.
  - COORDINATE LOCATIONS OF PATIO DOWNSPOUTS W/ JIN CONSTRUCTION MANAGER. COORDINATE W/ LOCATIONS OF PATIO SHADE INSTALL.
  - CONNECT ALL DOWNSPOUTS TO AN ADS (ADVANCE DRAINAGE SYSTEMS) ADAPTER FOR UNDERGROUND CONNECTION TO STORM SYSTEM. ADAPTER SHALL BE "BLACK"

- ### SIGNAGE NOTES
- ALL SIGNS SHOWN ON THE PLANS ARE ONLY ILLUSTRATIVE AND SUBJECT TO A SEPARATE SIGN PERMIT.
  - COMMERCIAL MESSAGING WILL BE CONSIDERED SIGNAGE, NOT WORK OF ART, PER THE DEFINITION OF SIGN. SEE ELEVATIONS FOR ALL SIGN LOCATIONS.

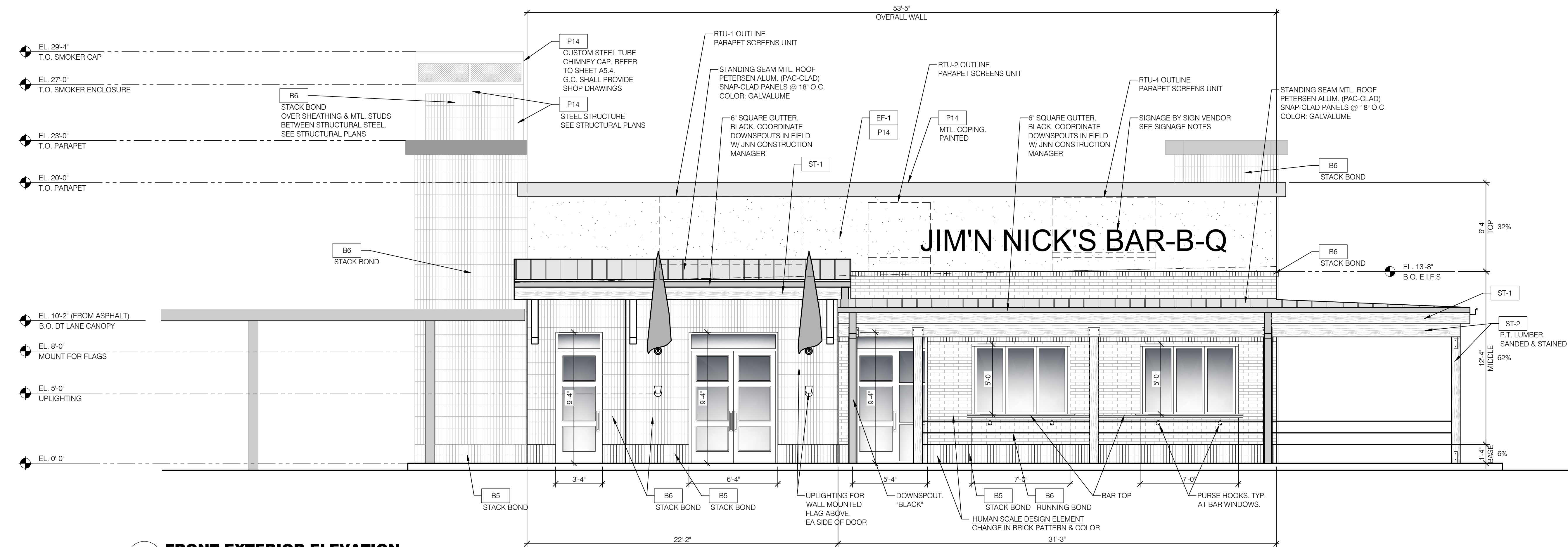
**JIM NICK'S**  
COMMUNITY  
**BAR-B-Q**

115 GRAND HILLS PL  
HOLLY SPRINGS, NC 27540

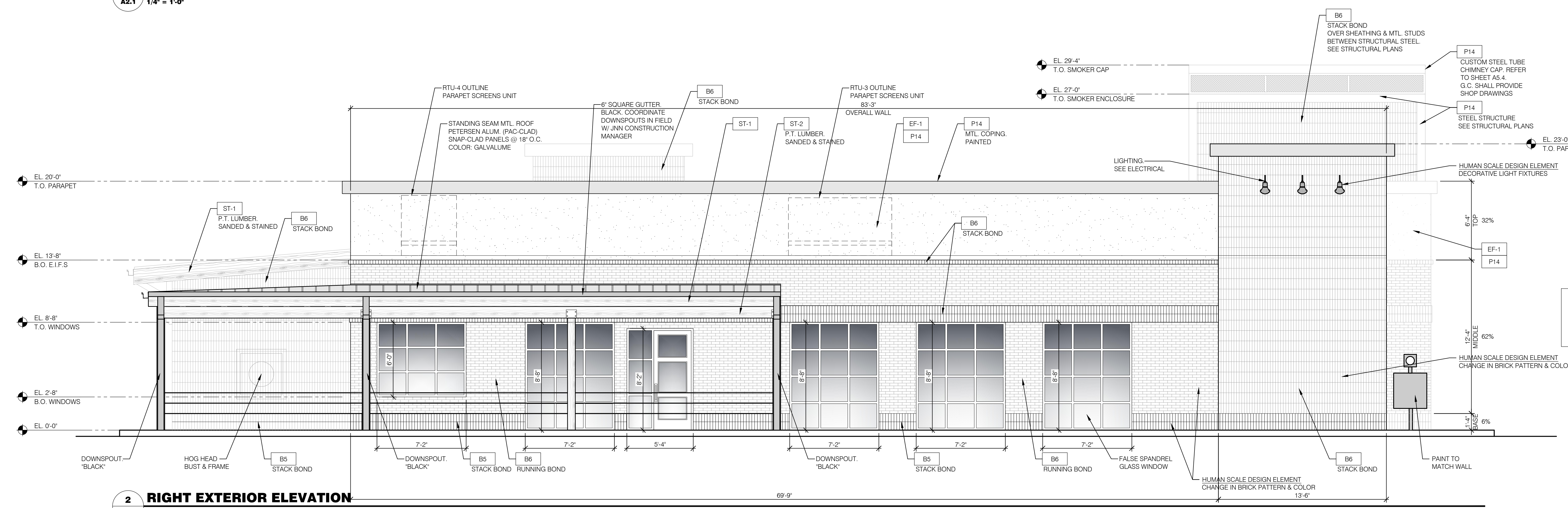


10-01-25

**RENDERINGS - NOT TO SCALE - FOR REFERENCE ONLY**  
A2.1 N.T.S.



**1 FRONT EXTERIOR ELEVATION**  
A2.1 1/4" = 1'-0"



**2 RIGHT EXTERIOR ELEVATION**  
A2.1 1/4" = 1'-0"

PLAN DATE: 07-25-25  
PROJECT NUMBER: 25504  
BUILDING TYPE: V3 - NEW  
DRAWN BY: WCS

**LONNIE SMITH**  
ARCHITECT

phone 859-771-5638  
P.O. BOX 1925  
Richmond, KY 40475

**PRELIMINARY EXTERIOR ELEVATIONS**

**A2.1**



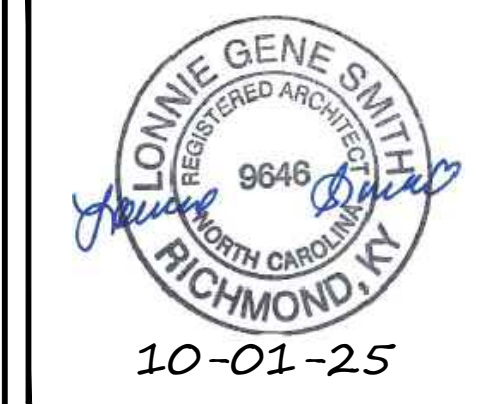
### EXTERIOR WALL LEGEND

	B6 - BRICK FINISH THIN BRICK RUNNING BOND OR VERTICAL STACK SEE FINISH SCHEDULE FOR COLORS		B5 - BRICK FINISH THIN BRICK VERTICAL STACK SEE FINISH SCHEDULE FOR COLORS
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  - G.C. SHALL COORDINATE SIGNAGE INSTALLATION & LOCATIONS W/ SIGNAGE SUPPLIER & OWNER. ALL SIGNAGE BY G.C.
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  - COORDINATE W/ MECHANICAL, PLUMBING & ELECTRICAL PLANS FOR LOCATION OF ALL PENETRATIONS IN THE EXTERIOR FACADES.
  - REFER TO WINDOW & DOOR SCHEDULES SHEET.
  - REFER TO FINISH SCHEDULE PLAN FOR PAINT & STAIN COLORS.
  - SIGNS ARE NOT APPROVED W/ THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
  - EXTERIOR LIGHTING SHALL BE CUTOFF LUMINAIRES CONCEALED IN OPAQUE HOUSING & FIXTURE SHALL BE RECESSED IN HOUSING THAT THE FIXTURE LIGHTING SHALL BE DIRECTED IN TOWARD THE PROPERTY SO AS NOT TO REFLECT INTO ADJACENT PROPERTIES OR THOROUGHFARES.
  - G.C. TO PROVIDE BUILDING ADDRESS NUMBERS AS REQ'D BY FIRE MARSHALL OF LOCAL JURISDICTION.
  - COORDINATE LOCATIONS OF PATIO DOWNSPOUTS W/ JNN CONSTRUCTION MANAGER. COORDINATE W/ LOCATIONS OF PATIO SHADE INSTALL.
  - CONNECT ALL DOWNSPOUTS TO AN ADS (ADVANCE DRAINAGE SYSTEMS) ADAPTER FOR UNDERGROUND CONNECTION TO STORM SYSTEM. ADAPTER SHALL BE BLACK.

**JIM N NICK'S**  
COMMUNITY  
**BAR-B-Q**

115 GRAND HILLS PL  
HOLLY SPRINGS, NC 27540



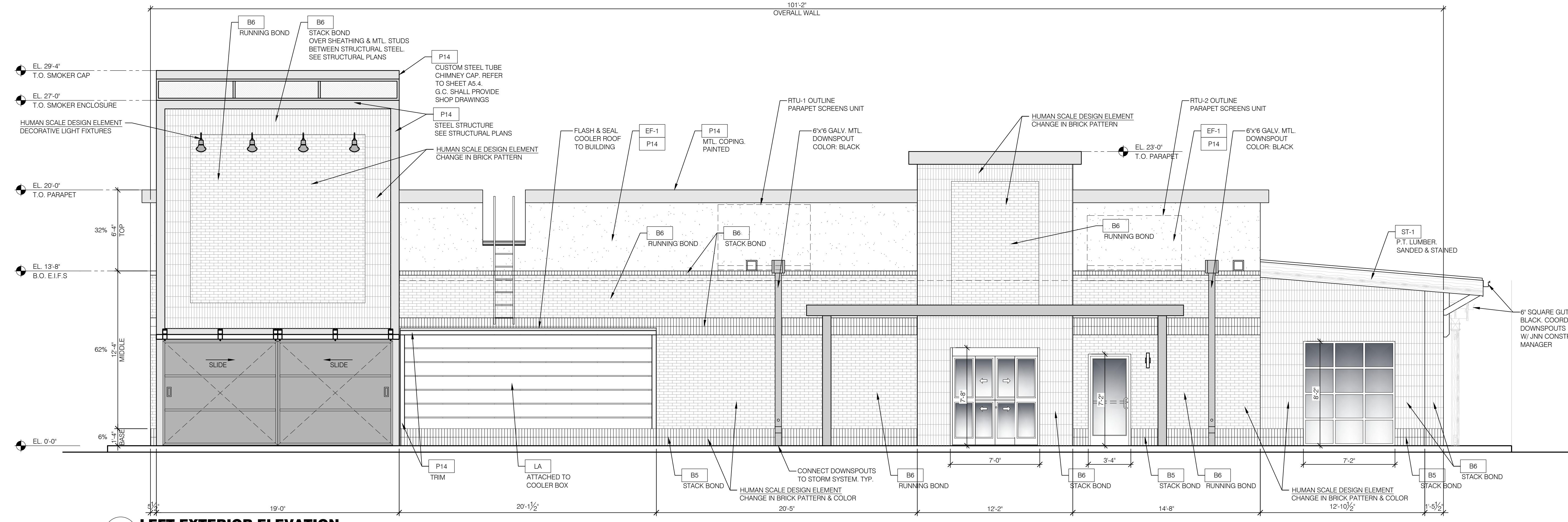
10-01-25

**RENDERINGS - NOT TO SCALE - FOR REFERENCE ONLY**  
A2.1 N.T.S.

- ### SIGNAGE NOTES
- ALL SIGNS SHOWN ON THE PLANS ARE ONLY ILLUSTRATIVE AND SUBJECT TO A SEPARATE SIGN PERMIT.
  - COMMERCIAL MESSAGING WILL BE CONSIDERED SIGNAGE, NOT WORK OF ART, PER THE DEFINITION OF SIGN. SEE ELEVATIONS FOR ALL SIGN LOCATIONS.

#### NORTH EAST DRIVE-THRU MATERIAL CALCULATIONS:

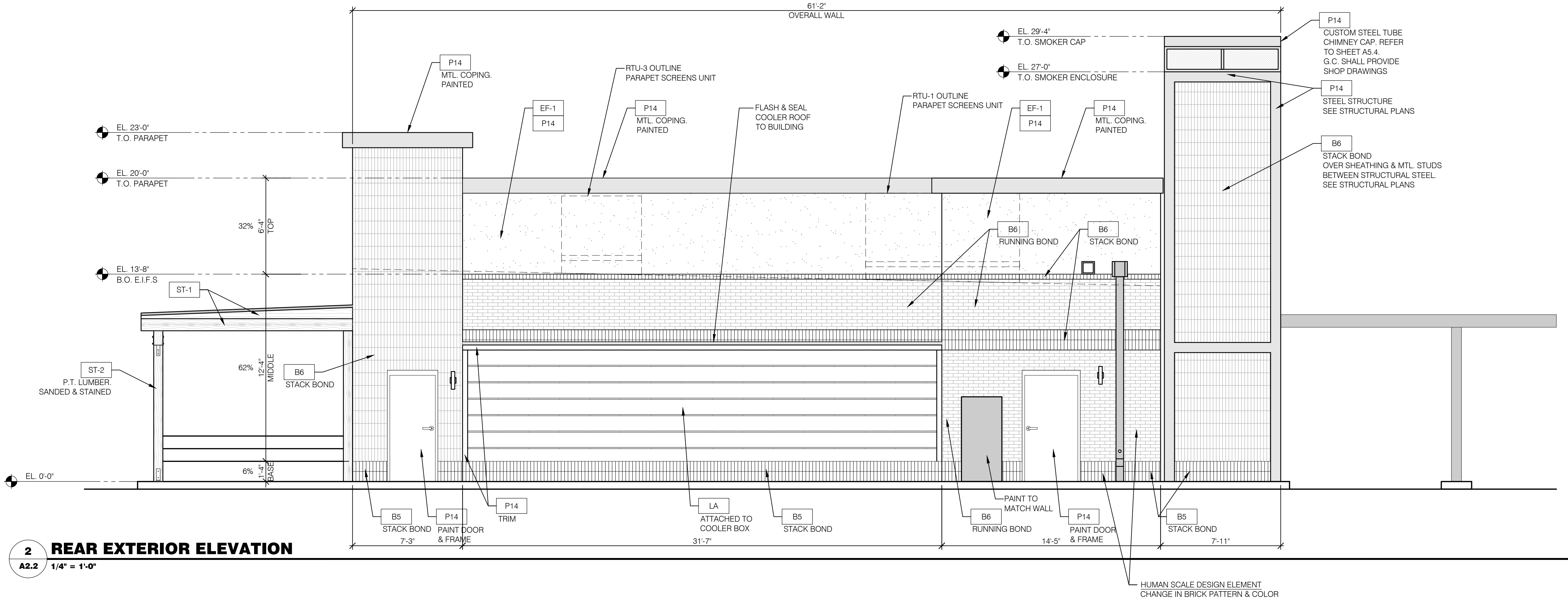
FACADE AREA BELOW 10'-0"	1,012 SF (101'-2" L x 10'-0" H)
GLAZING AREA BELOW 10'-0"	144 SF (14% GLAZING)
TYPE 1 FINISH (BRICK)	1,220 SF (73%)
TYPE 2 FINISH (E.I.F.S.)	286 SF (16%)
TYPE 2 FINISH (LAMBOO)	184 SF (11%)



**1 LEFT EXTERIOR ELEVATION**  
A2.2 1/4" = 1'-0"

#### SOUTH EAST REAR WALL MATERIAL CALCULATIONS:

TYPE 1 FINISH (BRICK)	730 SF (60%)
TYPE 2 FINISH (E.I.F.S.)	198 SF (16%)
TYPE 2 FINISH (LAMBOO)	290 SF (24%)



**2 REAR EXTERIOR ELEVATION**  
A2.2 1/4" = 1'-0"

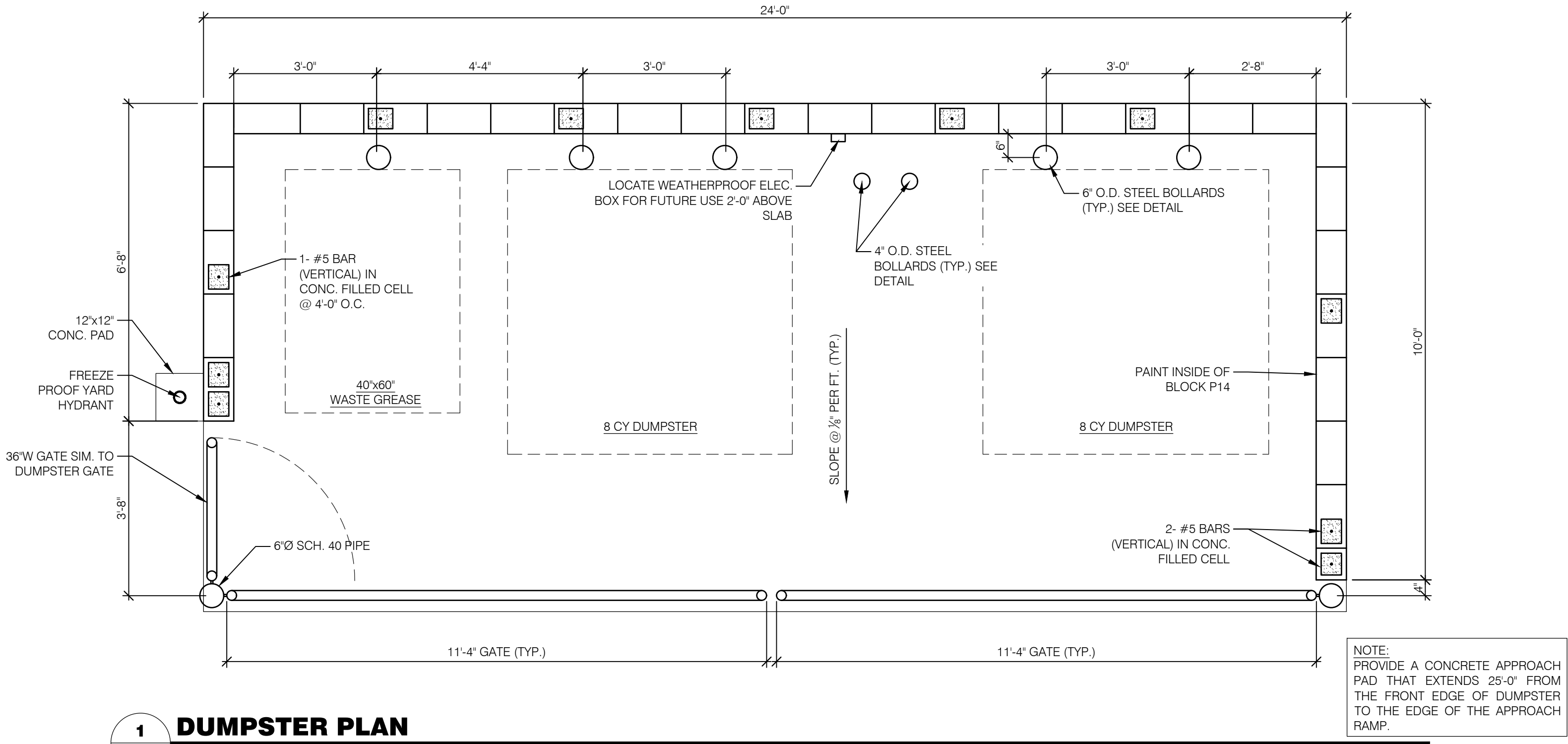
PLAN DATE:	07-25-25
PROJECT NUMBER:	25504
BUILDING TYPE:	V3 - NEW
DRAWN BY:	WCS

**LONNIE SMITH**  
ARCHITECT

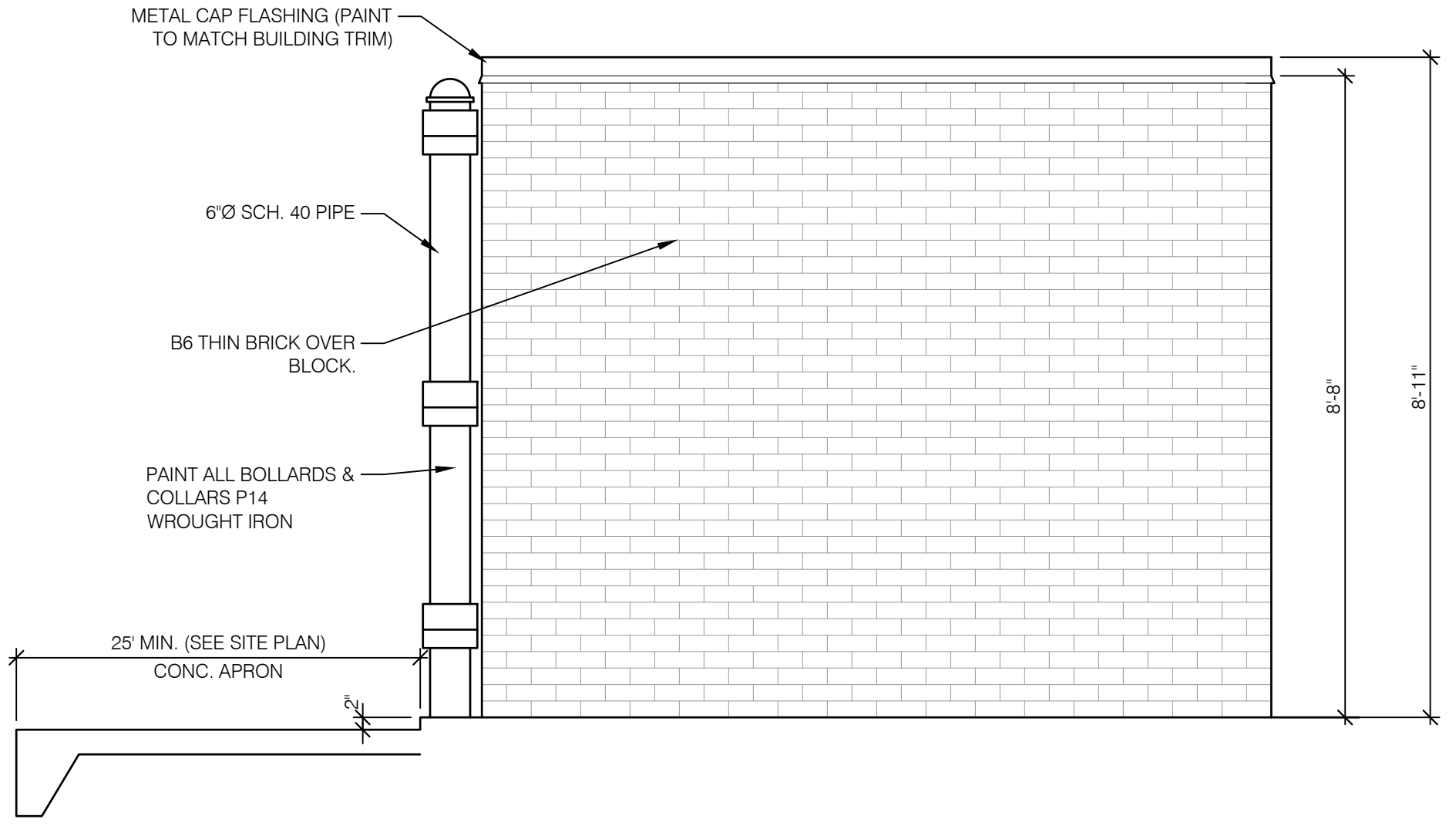
phone 659-771-5638  
P.O. BOX 1925  
Richmond, KY 40475

**PRELIMINARY EXTERIOR ELEVATIONS**

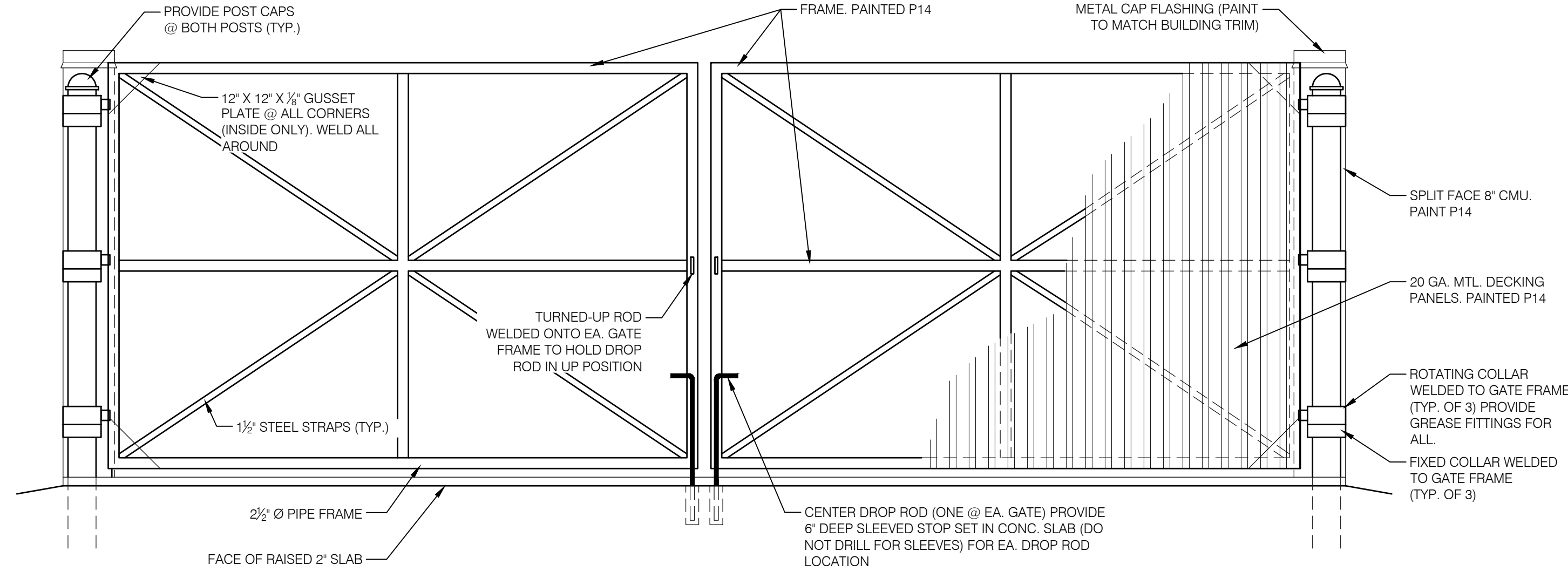
**A2.2**



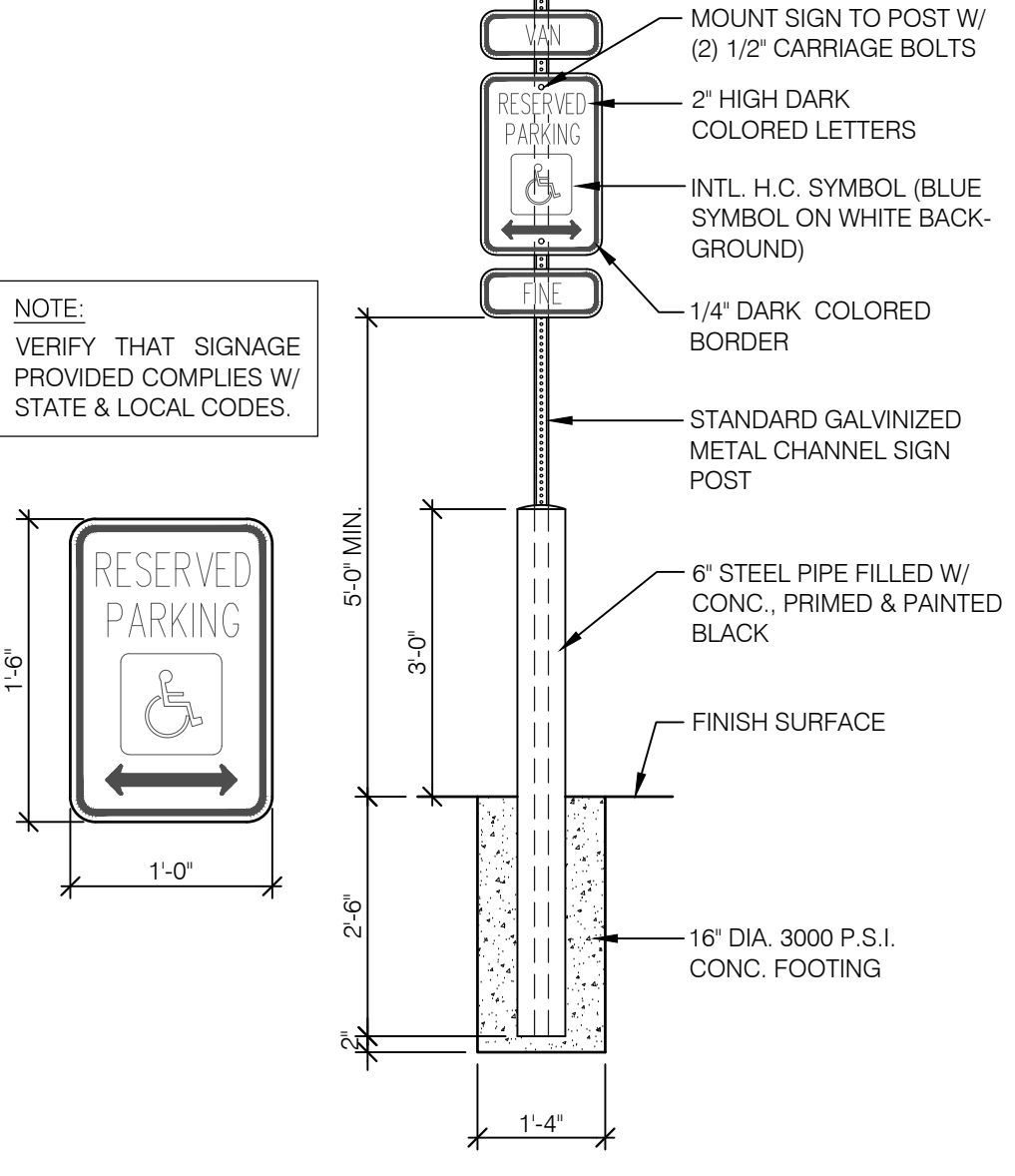
**1 DUMPSTER PLAN**  
A5.3 1/2" = 1'-0"



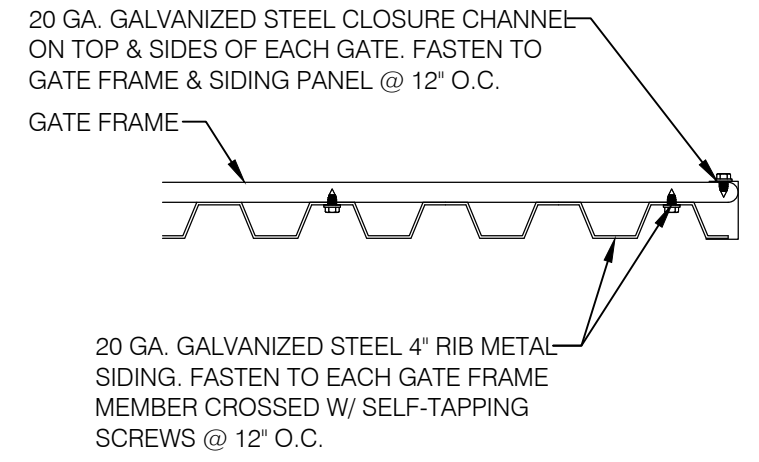
**3 DUMPSTER SIDE ELEVATION**  
A5.3 1/2" = 1'-0"



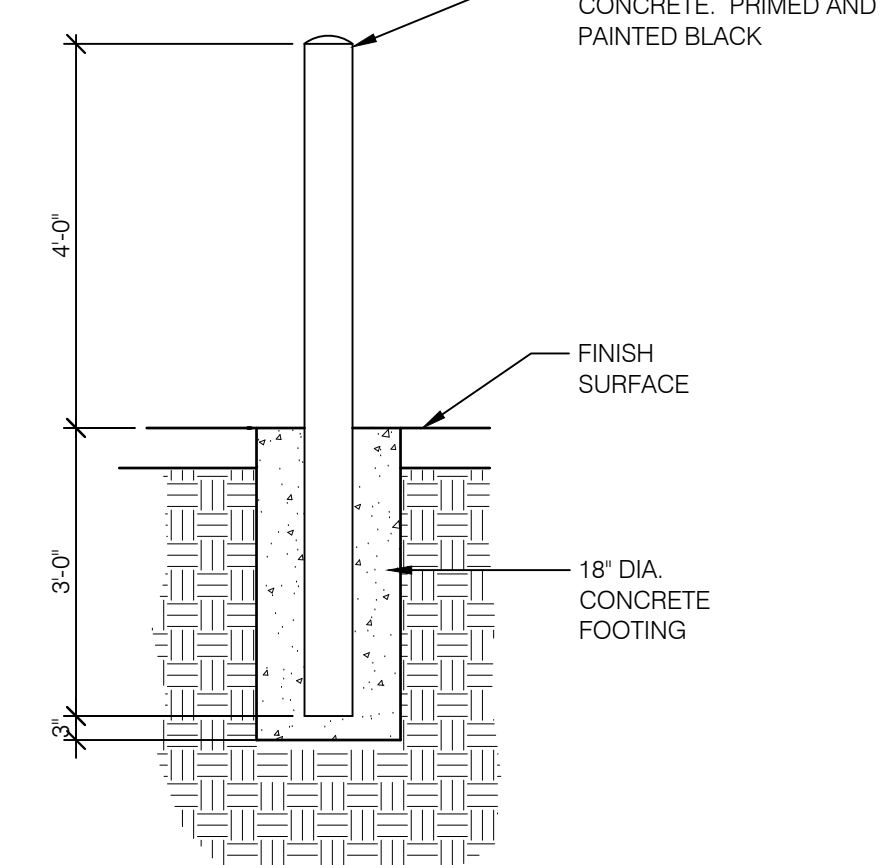
**2 DUMPSTER FRONT ELEVATION**  
A5.3 1/2" = 1'-0"



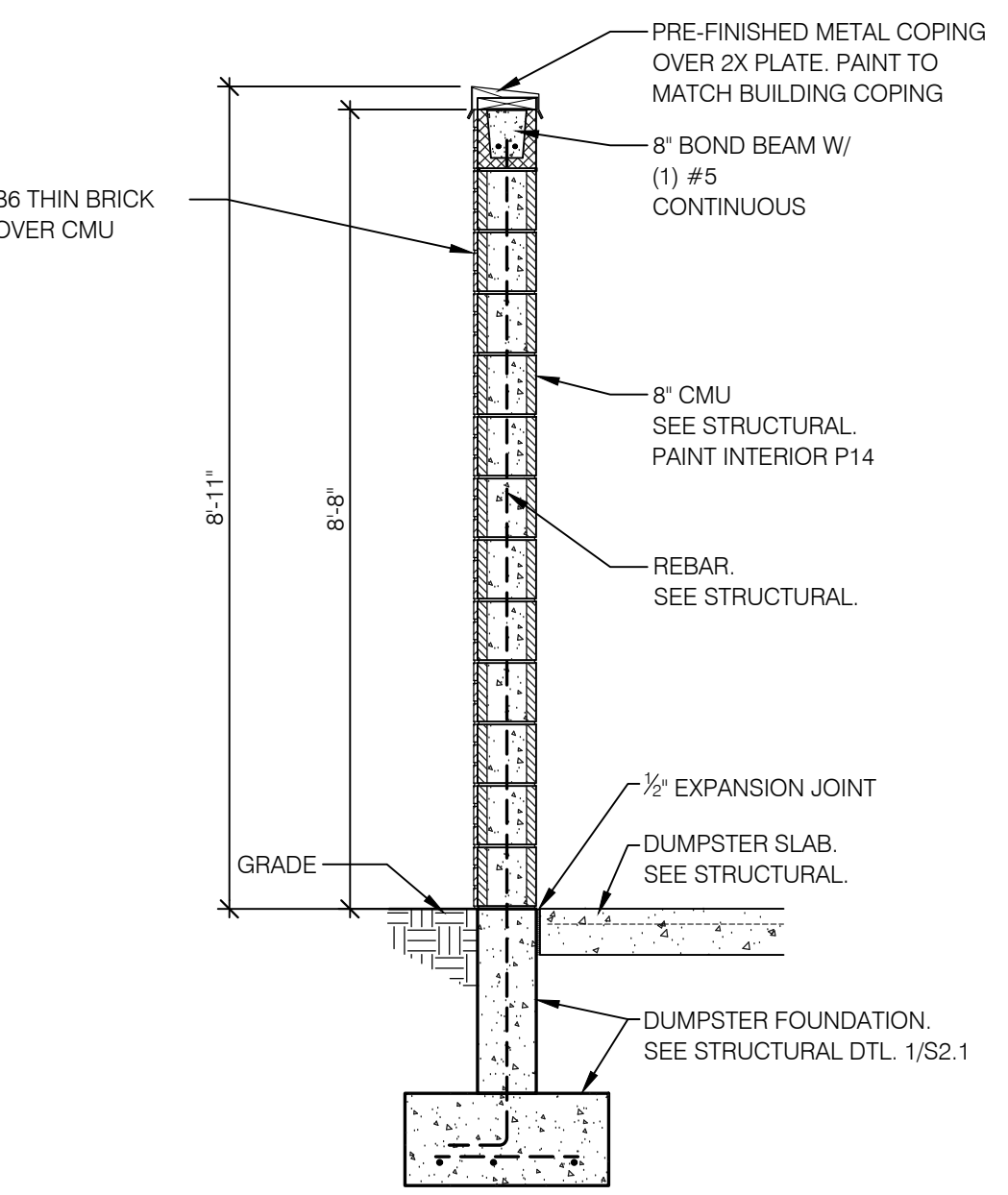
**7 ACCESSIBLE SIGN (IN BOLLARD)**  
A5.3 1/2" = 1'-0"



**6 GATE PANEL ATTACHMENT**  
A5.3 1/2" = 1'-0"



**5 BOLLARD DETAIL**  
A5.3 1/2" = 1'-0"



**4 SECTION @ DUMPSTER**  
A5.3 1/2" = 1'-0"


PLAN DATE:	07-25-25
PROJECT NUMBER:	25504
BUILDING TYPE:	V3 - NEW
DRAWN BY:	WCS

**LONNIE SMITH**  
ARCHITECT  
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RICHMOND, KY 40475

**DUMPSTER PLAN & DETAILS**  
**A5.3**